



Waitai Coastal-Burwood-Linwood Community Board AGENDA

Notice of Meeting:

An ordinary meeting of the Waitai Coastal-Burwood-Linwood Community Board will be held on:

Date: Monday 8 April 2024
Time: 4.30 pm
Venue: Boardroom, Corner Beresford and Union Streets,
New Brighton

Membership

Chairperson	Paul McMahon
Deputy Chairperson	Jackie Simons
Members	Tim Baker
	Kelly Barber
	Celeste Donovan
	Alex Hewison
	Yani Johanson
	Greg Mitchell
	Jo Zervos

3 April 2024

Principal Advisor

Chris Turner-Bullock
Manager Community Governance,
Coastal-Burwood-Linwood
Tel: 941 8233

Cindy Sheppard
Community Board Advisor
941 6547
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Note: The reports contained within this agenda are for consideration and should not be construed as Council policy unless and until adopted. If you require further information relating to any reports, please contact the person named on the report.

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<https://www.youtube.com/channel/UCI96HGy4yTuHdxoX3617V0g>

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What is important to us?

Our Strategic Framework is a big picture view of what the Council is aiming to achieve for our community

Our focus this Council term 2022–2025

Strategic Priorities



Be an inclusive and equitable city which puts people at the centre of developing our city and district, prioritising wellbeing, accessibility and connection.



Champion Ōtautahi-Christchurch and collaborate to build our role as a leading New Zealand city.



Build trust and confidence in the Council through meaningful partnerships and communication, listening to and working with residents.

Adopted by the Council on 5 April 2023



Reduce emissions as a Council and as a city, and invest in adaptation and resilience, leading a city-wide response to climate change while protecting our indigenous biodiversity, water bodies and tree canopy.



Manage ratepayers' money wisely, delivering quality core services to the whole community and addressing the issues that are important to our residents.



Actively balance the needs of today's residents with the needs of future generations, with the aim of leaving no one behind.

Our goals for this Long Term Plan 2024–2034

Draft Community Outcomes



Collaborative and confident

Our residents have the opportunity to actively participate in community and city life, have a strong sense of belonging and identity, and feel safe.



Green and liveable

Our neighbourhoods and communities are accessible and well connected, supporting our goals to reduce emissions, build climate resilience and protect and regenerate the environment, especially our biodiversity, water bodies and tree canopy.

To be adopted by the Council as part of the Long Term Plan 2024–2034



A cultural powerhouse

Our diverse communities are supported to understand and protect their heritage, pursue their arts, cultural and sporting interests, and contribute to making our city a creative, cultural and events 'powerhouse'.



Thriving and prosperous

Our city is a great place for people, business and investment where we can all grow our potential, where enterprises are innovative and smart, and where together we raise productivity and reduce emissions.

Our intergenerational vision

A place of opportunity for all.

Open to new ideas, new people,
new investment and new ways
of doing things – a place where
anything is possible.



Ngāi Tahu has rangatiratanga over its takiwā – the Council is committed to partnering with Ngāi Tahu to achieve meaningful outcomes that benefit the whole community

Part A	Matters Requiring a Council Decision
Part B	Reports for Information
Part C	Decisions Under Delegation

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Karakia Whakamutunga

Karakia Tīmatanga

Whakataka te hau ki te uru Whakataka te hau ki te tonga Kia mākinakina ki uta Kia mātaratara ki tai E hī ake ana te atakura He tio, he huka, he hauhūnga Tīhei Mauri Ora	Cease the winds from the west Cease the winds from the south Let the breeze blow over the land Let the breeze blow over the ocean Let the red-tipped dawn come with a sharpened air. A touch of frost, a promise of a glorious day.
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1. Apologies Ngā Whakapāha

At the close of the agenda no apologies had been received.

2. Declarations of Interest Ngā Whakapuaki Aronga

Members are reminded of the need to be vigilant and to stand aside from decision making when a conflict arises between their role as an elected representative and any private or other external interest they might have.

3. Confirmation of Previous Minutes Te Whakaāe o te hui o mua

That the minutes of the Waitai Coastal-Burwood-Linwood Community Board meeting held on [Monday, 11 March 2024](#) be confirmed (refer page 7).

4. Public Forum Te Huīnga Whānui

A period of up to 30 minutes will be available for people to speak for up to five minutes on any issue that is not the subject of a separate hearings process.

4.1 The GreenLab Project

Bridget Allen, on behalf of The GreenLab will address the Board regarding a project to relocate and run workshops on seal level rise, flooding, fauna and flora such as restoration of saltwater marshes and native planting in Bexley Park.

4.2 Greater New Brighton Community Emergency Planning

Laila Jansone on behalf of Renew Brighton will address the Board regarding the Greater New Brighton Community Emergency Planning.

4.3 East Shirley Cricket

Paul Cottam, Junior Convenor on behalf of East Shirley Cricket will address the Board seeking support for improvements to Burwood Park in the Long Term Plan.

5. Deputations by Appointment Ngā Huinga Whakaritenga

Deputations may be heard on a matter or matters covered by a report on this agenda and approved by the Chairperson.

There were no deputations by appointment at the time the agenda was prepared.

6. Presentation of Petitions Ngā Pākikitanga

There were no petitions received at the time the agenda was prepared.



Waitai
Coastal-Burwood-Linwood Community Board
OPEN MINUTES

Date: Monday 11 March 2024
Time: 4.30 pm
Venue: Boardroom, Corner Beresford and Union Streets,
New Brighton

Present
Chairperson Paul McMahon
Deputy Chairperson Jackie Simons
Members Tim Baker
Kelly Barber
Alex Hewison
Yani Johanson
Greg Mitchell
Jo Zervos

Principal Advisor
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Karakia Tīmatanga: Led by Paul McMahon.

The agenda was dealt with in the following order.

1. Apologies Ngā Whakapāha

Part C

Community Board Resolved CCBCC/2024/00011

That the apologies received from Celeste Donovan for absence and Tim Baker for early departure be accepted.

Kelly Barber/Greg Mitchell

Carried

2. Declarations of Interest Ngā Whakapuaki Aronga

Part B

Kelly Barber declared an interest in Item 4.1, public forum from the Avon-Heathcote Estuary Ihutai Trust.

3. Confirmation of Previous Minutes Te Whakaāe o te hui o mua

Part C

Community Board Resolved CCBCC/2024/00012

That the minutes of the Waitai Coastal-Burwood-Linwood Community Board meeting held on Monday, 12 February 2024 be confirmed.

Tim Baker/Jackie Simons

Carried

4. Public Forum Te Huinga Whānui

Part B

4.1 Avon-Heathcote Estuary Ihutai Trust

Bill Simpson and Kit Doudney on behalf of the Avon-Heathcote Estuary Ihutai Trust addressed the Board to express their thoughts on the proposed green edge pathway and asked that the Board vote against putting a path through the wildlife refuge.

After questions from members, the Chairperson thanked Bill and Kit for their presentation.

4.2 Spencerville Residents' Association

Mel Gilmore on behalf of the Spencerville Residents' Association addressed the Board in relation to a request to install a basketball court at Spencerville Reserve.

After questions from members, the Chairperson thanked Mel for her presentation.

Part B

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Refer the issues raised to staff for investigation and response back to the Board.

Attachments

- A Mel Gibson, Spencerville Residents' Association Handout

4.3 Daphne McCurdy

Daphne McCurdy on behalf of the North Beach Residents' Association addressed the Board to advocate for a golf-ball protection fence inside the northern boundary of Rawhiti Golf Links in the areas not protected by trees between Tonks Street and Shaw Avenue.

After questions from members, the Chairperson thanked Daphne for her presentation.

Part B

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Refers the issues raised to staff for investigation and response back to the Board.

Attachments

- A Daphne McCurdy - Rawhiti Domain Laneway Presentation

4.4 Prestons Park Drive Proposed Bus Stop

Pauline Neale, local resident addressed the Board in relation to a proposed bus stop on Prestons Park Drive.

After questions from members, the Chairperson thanked Pauline for her presentation.

Part B

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Refers the issues raised to staff for investigation and response back to the Board.

Attachments

- A Pauline Neale - Prestons Park Drive Relocation of Bus Stop Presentation

5. Deputations by Appointment Ngā Huinga Whakaritenga

Part B

There were no deputations by appointment.

6. Presentation of Petitions Ngā Pākikitanga

Part B

There was no presentation of petitions.

7. Joint Meeting - Waipapa Papanui-Innes-Central and Waitai Coastal-Burwood-Linwood Community Boards Minutes - 13 February 2024
Community Board Resolved CCBCC/2024/00013

That the Waitai Coastal-Burwood-Linwood Community Board confirms the Minutes from the Joint Meeting - Waipapa Papanui-Innes-Central and Waitai Coastal-Burwood-Linwood Community Boards meeting held on Tuesday 13 February 2024.

Jackie Simons/Alex Hewison

Carried

8. Replace existing Easement for telecommunications occupation at South New Brighton Park to a Licence.

Community Board Resolved CCBCC/2024/00014 Original Officer Recommendation accepted without change

Part C

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approve pursuant to Section 48A of the Reserves Act 1977, for the Council to enter into a Licence Agreement to Kordia at South New Brighton Park. This is subject to Minister of Conservation final approval.
2. Recommend that the Chief Executive, using the Council's delegated authority from the Minister of Conservation, grant this new Licence agreement over existing facilities.
3. Approve the surrender of the existing easement and right of way on the title.
4. Authorise the Property Consultancy Manager, to conclude and administer all necessary licence negotiations, documentation and surrender of the easement.

Jackie Simons/Tim Baker

Carried

9. Proposed Road Names - 205 Mairehau Road

Council officer in attendance advised the Board that the consent holder did not wish to attend the meeting and noted that they were happy for the Board to consider their proposed road names.

Members of the Board would like to see Te Reo options for the road names.

Due to the resolution being lost, the Board would welcome the consent holder reconsider the road naming options provided or to attend a meeting with the Board to discuss options.

Staff Recommendations / Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approves the following new road names for 205 Mairehau Road (RMA/2022/1180).
 - a. Road 1 - Leionema Place
 - b. Lane 1 - Cygnus Lane

Community Board Recommendation

Part C

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approves the following new road names for 205 Mairehau Road (RMA/2022/1180).
 - a. Road 1 - Leionema Place
 - b. Lane 1 - Cygnus Lane

Jo Zervos/Greg Mitchell

Lost

10. Wanstead Place and Linwood Avenue Intersection - Proposed Stop Control and No Stopping Restrictions

At the commencement of the Board considering this item, the relevant Council Officer was not in attendance. The Board decided to let the report lay on the table.

The meeting adjourned between 5.10pm and 5.18pm to allow time to contact the Council Officer to answer questions from members.

Council Officer in attendance spoke to the accompanying report and responded to questions from members.

Community Board Resolved CCBCC/2024/00015

That the report lay on the table in lieu of staff advice.

Paul McMahon/Greg Mitchell

Carried

Community Board Resolved CCBCC/2024/00016

Pursuant to section 19.5 of Standing Orders, the Waitai Coastal-Burwood-Linwood Community Board revoke the previous decision to lay the report on the table in lieu of staff advice.

Paul McMahon/Kelly Barber

Carried

Community Board Resolved CCBCC/2024/00017 Original Officer Recommendation accepted without change

Part C

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approves, pursuant to Clause 7 of the Christchurch City Council Traffic and Parking Bylaw 2017 and as detailed on plan TG 146823, dated 05/12/2023 and attached in the agenda report as Attachment A, that the stopping of vehicles be prohibited at all times on:
 - a. The south side of Linwood Avenue (south side), commencing at its intersection with Wanstead Place and extending in a westerly direction for a distance of 20.5 metres.
 - b. The west side of Wanstead Place, commencing at its intersection with Linwood Avenue (south side) and extending in a southerly direction for a distance of 12.5 metres.
 - c. The south side of Linwood Avenue (south side), commencing at its intersection with Wanstead Place and extending in an easterly direction for a distance of 20.5 metres.
 - d. The east side of Wanstead Place, commencing at its intersection with Linwood Avenue (south side) and extending in a southerly direction for a distance of 14.5 metres.
 - e. The south side of Linwood Avenue (north side), commencing at its intersection with Wanstead Place and extending in a westerly direction for a distance of 7.0 metres.
 - f. The west side of Wanstead Place, commencing at its intersection with Linwood Avenue (north side) and extending in a southerly direction for a distance of 17.0 metres.
 - g. The south side of Linwood Avenue (north side), commencing at its intersection with Wanstead Place and extending in an easterly direction for a distance of 9.0 metres.
 - h. The east side of Wanstead Place, commencing at its intersection with Linwood Avenue (north side) and extending in a southerly direction for a distance of 17.0 metres.

- i. The north side of Linwood Avenue (south side), commencing at its intersection with Wanstead Place and extending in a westerly direction for a distance of 13.0 metres.
 - j. The north side of Linwood Avenue (south side), commencing at its intersection with Wanstead Place and extending in an easterly direction for a distance of 14.5 metres.
2. Approves, in accordance with Section 4 and Section 10.2 of the Land Transport Rule: Traffic Control Devices 2004 and as detailed on plan TG 146823, dated 05/12/2023 and attached in the Agenda report as Attachment A, that:
 - a. The south approach of Wanstead Place at its intersection with Linwood Avenue (south side) be controlled by a Stop Control.
 - b. The north approach of Wanstead Place at its intersection with Linwood Avenue (south side) be controlled by a Stop Control.
3. Revoke any previous resolutions pertaining to traffic controls made pursuant to any bylaw to the extent that they are in conflict with the traffic controls described above.
4. Approve that these resolutions take effect when parking signage and/or road marking that evidence the restrictions described above are in place (or removed in the case of revocations).

Jackie Simons/Paul McMahon

Carried

11. Bus stop upgrades on Effingham street

Community Board Resolved CCBCC/2024/00018 Original Officer Recommendation accepted without change

Part C

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approves, pursuant to Clause 7 of the Christchurch City Council Traffic and Parking Bylaw 2017 and as detailed on plan TG 144348, dated 16/02/2024 and attached in the Agenda report as Attachment A, that a bus stop be installed on:
 - a. The north side of Effingham Street commencing at the prolongation of eastern kerb at a point 115.5 metres north-east of its intersection with Surfers Place and extending in a south-westerly direction for a distance of 14.0 metres.
 - b. The south side of Effingham Street commencing at a point 96.0 metres north-east of its intersection with Surfers Place and extending in a north-easterly direction for a distance of 14.0 metres.
2. Approves, pursuant to Clause 7 of the Christchurch City Council Traffic and Parking Bylaw 2017 and as detailed on plan TG 144348, dated 16/02/2024 and attached in the Agenda report as Attachment A, that the stopping of vehicles be prohibited at all times on:
 - a. The north side of Effingham Street commencing at the prolongation of eastern kerb at a point 117.0 metres north-east of its intersection with Surfers Place and extending in a south-westerly direction for a distance of 1.5 metres.
 - b. The north side of Effingham Street commencing at the prolongation of eastern kerb at a point 101.5 metres north-east of its intersection with Surfers Place and extending in a south-westerly direction for a distance of 7.5 metres.

- c. The south side of Effingham Street commencing at a point 95.0 metres north-east of its intersection with Surfers Place and extending in a north-easterly direction for a distance of 1.0 metres.
- d. The south side of Effingham Street commencing at a point 110.0 metres north-east of its intersection with Surfers Place and extending in a north-easterly direction for a distance of 14.0 metres.
3. That directional and warning tactile pavers and kerb blocks are installed at each bus stop as shown on Attachment A.
4. Revoke any previous resolutions pertaining to traffic controls made pursuant to any bylaw to the extent that they are in conflict with the traffic controls described in this report.
5. Approve that these resolutions take effect when parking signage and/or road marking that evidence the restrictions described in the staff report are in place (or removed in the case of revocations).

Alex Hewison/Jo Zervos

Carried

Kelly Barber and Tim Baker requested that their vote against the resolutions be recorded.

12. Marine Parade - Car Parking Formalisation

Community Board Resolved CCBCC/2024/00019 Original Officer Recommendation accepted without change

Part C

That the Waitai Coastal-Burwood-Linwood Community Board:

2. Approves, pursuant to Clause 8 of the Christchurch City Council Traffic and Parking Bylaw 2017, that the stopping of vehicles be prohibited at all times within the council owned car parks generally in accordance with that shown on the plan provided as Agenda **Attachment A** (Drawing TG146820, issue 1 dated 23/1/2024) and detailed in recommendations 2a-2f below:
 - a. Bay 1 Plan, on the eastern side of Marine Parade 168.0 metres south of the prolongation of the southern kerb of Bowhill Road.
 - b. Bay 2 Plan, on the eastern side of Marine Parade 274.0 metres south of the prolongation of the southern kerb of Bowhill Road.
 - c. Bay 3 Plan, on the eastern side of Marine Parade 341.0 metres of the prolongation of the southern kerb of Bowhill Road.
 - d. Bay 4 Plan, on the eastern side of Marine Parade 137.0 metres north of the prolongation of the northern kerb of Rawhiti Avenue.
 - e. Bay 5 Plan, on the eastern side of Marine Parade 36.0 metres north of the prolongation of the northern kerb of Rawhiti Avenue.
 - f. Bay 6 Plan, on the eastern side of Marine Parade 49.0 metre south of the prolongation of the northern kerb of Rawhiti Avenue.
3. Approves, that the parking of vehicles be reserved for vehicles with an approved disabled person's parking permit, prominently displayed in the vehicle, in accordance with section 12.4 of the Land Transport - Traffic Control Devices Rule 2004 at the one angled parking

space designated for use by disabled users, within the council owned car park in accordance with that shown on the plan provided as Agenda **Attachment A** (Drawing TG146820, issue 1 dated 23/1/2024) and detailed in recommendations 3a below::

Bay 5 Plan, on the eastern side of Marine Parade 36.0 metres north of the prolongation of the northern kerb of Rawhiti Avenue.

4. Revokes any previous resolutions pertaining to traffic controls made pursuant to any bylaw to the extent that they are in conflict with the traffic controls described in this report.
5. Approves that these resolutions take effect when parking signage and/or road marking that evidence the restrictions described in the staff report are in place (or removed in the case of revocations).

Jackie Simons/Alex Hewison

Carried

Community Board Decided CCBCC/2024/00020 Original Officer Recommendation accepted without change

Part A

That the Waitai Coastal-Burwood-Linwood Community Board recommends that the Council recommends that the Council:

1. Approves, pursuant to Clause 16 of the Christchurch City Council Traffic and Parking Bylaw 2017, that vehicles must travel in one specified direction only within the council owned car park in accordance with that shown on the plan provided as **Attachment A** to this report (Drawing TG146820, issue 1 dated 23/1/2024) and detailed in recommendations 1a-1f below:
 - a. Bay 1 Plan, on the eastern side of Marine Parade 168.0 metres south of the prolongation of the southern kerb of Bowhill Road.
 - b. Bay 2 Plan, on the eastern side of Marine Parade 274.0 metres south of the prolongation of the southern kerb of Bowhill Road.
 - c. Bay 3 Plan, on the eastern side of Marine Parade 341.0 metres of the prolongation of the southern kerb of Bowhill Road.
 - d. Bay 4 Plan, on the eastern side of Marine Parade 137.0 metres north of the prolongation of the northern kerb of Rawhiti Avenue.
 - e. Bay 5 Plan, on the eastern side of Marine Parade 36.0 metres north of the prolongation of the northern kerb of Rawhiti Avenue.
 - f. Bay 6 Plan, on the eastern side of Marine Parade 49.0 metres south of the prolongation of the northern kerb of Rawhiti Avenue.

Jackie Simons/Alex Hewison

Carried

Tim Baker left the meeting at 6.02pm during consideration of item 13.

13. Planting Plans for Shortland Playground and Arthur Adcock Memorial Reserve

Council officer in attendance spoke to the accompany report and provided a presentation to highlight the planting plans and any changes following consultation.

Community Board Resolved CCBCC/2024/00021 Original Officer Recommendation accepted without change

Part C

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approve the planting of trees within Shortland playground as per the attached plans.
2. Approve the staged removal of additional trees within Arthur Adcock Memorial Park as per the attached plans.
3. Approve the planting of trees within Arthur Adcock Memorial Park as per the attached plans.

Paul McMahon/Jackie Simons

Carried

Attachments

- A Urban Forest Planting Program Presentation

14. Waitai Coastal-Burwood-Linwood 2023-24 Discretionary Response Fund Application - Eastern Eagles Rugby League Incorporated

Community Board Resolved CCBCC/2024/00022 Original Officer Recommendation accepted without change

Part C

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approves a grant of \$5,000 from its 2023-24 Discretionary Response Fund to Eastern Eagles Rugby League Football Club Incorporated towards the Eastern Eagles Youth/Junior Development project.

Kelly Barber/Greg Mitchell

Carried

15. Waitai Coastal-Burwood-Linwood Community Board Area Report - March 2024

Officer Recommendations Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Receive the Waitai Coastal-Burwood-Linwood Community Board Area Report for March 2024.

Community Board Resolved CCBCC/2024/00023

Part B

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Receive the Waitai Coastal-Burwood-Linwood Community Board Area Report for March 2024.
2. Request that staff consider including safety improvements to Rudds Road between Kearneys Road and Cypress Street.

Paul McMahon/Greg Mitchell

Carried

16. Elected Members' Information Exchange Te Whakawhiti Whakaaro o Te Kāhui Amorangi

Part B

Members exchanged information on matters of mutual interest:

- Spencerville Life Saving Club – signage concerns.
- Renew Brighton – meeting attendance.
- Coastal Hazards Adaptation Planning – meeting attendance.
- Wastewater Treatment Plant – meeting attendance.
- Better Off Funding – advocacy for Marshland Hall Trust.

Karakia Whakamutunga: Led by Paul McMahon.

Meeting concluded at 6.33pm.

CONFIRMED THIS 8TH DAY OF APRIL 2024

**PAUL MCMAHON
CHAIRPERSON**



7. Correspondence

Reference Te Tohutoro: 24/453672

Responsible Officer(s) Te Pou Matua: Cindy Sheppard, Community Board Advisor

Accountable ELT Member Pouwhakarae: Andrew Rutledge, Acting General Manager Citizens and Community

1. Purpose of Report Te Pūtake Pūrongo

Correspondence has been received from:


Name	Subject
Spencerville Residents' Association	Field Trip to the coastal sand dunes area on the seaside of the Brooklands Lagoon.

2. Staff Recommendations / Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Receive the correspondence from Spencerville Residents' Association.
2. Request staff organise a site visit for the Board, Council staff and representatives of the Spencerville Residents' Association during low tide.

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A 	Spencerville Residents' Association - Sands Dunes	24/505925	18



Paul McMahon

Chairperson

Waitai Coastal-Burwood-Linwood Community Board

4 March 2024

Kia ora Paul,

The Spencerville Residents Association believes the Board members should make a field trip visit to the coastal sand dunes area on the seaside of the Brooklands lagoon.

The purpose of the visit would be to view the serious erosion that is taking place constantly along this spit area from the beach entry at Spencerville to the Waimakariri mouth. The erosion is undermining the sand dunes, and this is seriously concerning as in one place in particular the Council's efforts to prevent the sand erosion have failed and a breakthrough from the lagoon side could happen this winter.

Such a breakthrough has serious flooding implications for residents living in the Brooklands, and Spencerville areas. In addition, there are serious flooding issues for residential areas further south in the city.

This winter high river flows in the Waimakariri could force a breakthrough out through the sand dunes into the sea.

Within the last ten years river level rises have caused flooding into the area of the Spencerville camping ground and have required evacuation. Other low-lying areas were also flooded.

Further, the sand appears to have seriously narrowed the mouth of the Waimakariri river area. This could force the river in times of high-water levels to direct more water into the lagoon area which would pressurise the sand dunes from the lagoon side given the narrow sand dunes that now exist along the spit area. Naturally this would bring increased flooding into the houses that are directly across from the breakthrough area.

The mouth of the Waimakariri and the lagoon area have been subject to protection works many years ago. The residents would appreciate the elected members coming to view the serious nature of this erosion and listen to the concerns of residents regarding flooding.

Further, the SRA would like the Board to invite local residents to join the Board on its field trip.

It would be necessary for Council staff, who are monitoring the dunes, to attend the field trip to provide an explanation of the current management efforts and present the Council's technical viewpoint about the residents' concerns.

This matter needs urgent attention before winter arrives.

We appreciate your consideration of our concerns.

Ngā mihi nui.

Craig Pawsey

Chair of Spencerville Residents Association

8. Briefings

Reference Te Tohutoro: 24/488390

Responsible Officer(s) Te Pou Matua: Cindy Sheppard, Community Board Advisor

Accountable ELT Member Pouwhakarae: Andrew Rutledge, Acting General Manager Citizens and Community

1. Purpose of Report Te Pūtake Pūrongo

The Board will be briefed on the following:

Subject	Presenter(s)	Unit/Organisation
Wastewater Treatment Plant Update	Adam Twose	Three Waters

2. Staff Recommendations / Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

- Notes the information supplied during the Briefing.

Attachments Ngā Tāpirihanga

There are no attachments to this report.

9. Proposed Road Names - 205 Mairehau Road

Reference Te Tohutoro: 24/496589

Responsible Officer(s) Te Pou Matua: Sean Ward, Team Leader Planning

Accountable ELT Member Pouwhakarae: Jane Parfitt, Interim General Manager Infrastructure, Planning and Regulatory Services

1. Purpose and Origin of the Report Te Pūtake Pūrongo

- 1.1 The purpose of this report is for the Waitai Coastal-Burwood-Linwood Community Board to approve the proposed road names at 205 Mairehau Road, Burwood.
- 1.2 The report is staff-generated resulting from a naming request received from the developer.

2. Officer Recommendations Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Receive the information in the Proposed Road Names - 205 Mairehau Road Report.
2. Note that the decision in this report is of low significance concerning the Christchurch City Council's Significance and Engagement Policy.
3. Approves the following new road names for 205 Mairehau Road (RMA/2022/1180)
 - a. Road 1 - Waianiwa Place
 - b. Lane 1 - Taipū Lane

3. Detail Te Whakamahuki

Introduction Te Whakatkinga

- 3.1 A road naming request has been submitted by the developer. A preferred name and alternative names have been put forward for the roads.
- 3.2 The recommended road names have been checked against existing road names in Christchurch and bordering districts, for duplication, alternative spelling, or other similarities in spelling or pronunciation to avoid the potential for confusion. The proposed names are considered sufficiently different to existing road names.
- 3.3 The recommended road names have been checked against the Council's Naming Policy dated 15 November 2023 and are considered to be consistent with this policy except as outlined below. The specific criteria for assessing a name from clause 2 is set out below.
 - 3.3.1 A traditional or Māori name which is acceptable to the Rūnanga or Iwi; this may be a name reflecting the physical characteristics of an area, an activity or event associated with the area or of a notable ancestor.
 - 3.3.2 A feature of historical, social, cultural, environmental or physical importance in the area (e.g., Carlton Mill Road or Carlton Mill Reserve*).
 - 3.3.3 The name of a notable family, person or event associated with the locality or with the wider Christchurch area.
 - 3.3.4 A name in recognition of a person's service. This can be for community service, conservation, sport, the arts, science and research or other sphere of activity.

- 3.3.5 Consistency with a common or established theme for naming in a subdivision or locality.
- 3.3.6 A name that reflects the diverse cultures and communities of the locality or of Christchurch generally.
- 3.3.7 The name of an event or activity strongly associated with the immediate location including an informal name for the area that is (or was historically) in common usage.
- 3.3.8 A name associated with a person, event or activity of significance to Christchurch including names associated with people, events, or places of national and international significance.
- 3.4 The criteria for names that are not suitable for approval from clause 6 is set out below.
 - 3.4.1 Names of people, flora, fauna or geographical features not associated with the area, e.g., names of native trees which are not present in the area or views that cannot be identified, except where the name continues a current naming theme in the locality.
 - 3.4.2 Currently trading commercial organisations except for sponsorship names for facilities and leased parks.
 - 3.4.3 Anagrams, amalgamations or derivatives of people's names.
 - 3.4.4 Names of living persons.
 - 3.4.5 Names related to the developer of a subdivision.
 - 3.4.6 Name of a person, club or organisation associated with a privately owned building on Council land, where the club or organisation does not hold the ground lease for the building.
 - 3.4.7 Names for roads which may cause confusion because they are associated with another geographical location or feature e.g., Parklands Drive which is not located in the Parklands suburb.
- 3.5 The recommended road names have also been checked against the Australia and New Zealand Standard AS/NZA 4819:2011 Rural and Urban Addressing. The names are considered to be consistent with the Standard unless otherwise stated below.
- 3.6 Under the Roads and Right-of-Way Naming Policy, the names considered must be requested by the developer. There is no ability to consider alternative names without first checking whether there are any duplications or similarities with other road and right-of-way names.
- 3.7 Consultation has been undertaken with Land Information New Zealand who have raised no concerns with the proposed road names.
- 3.8 Consultation under the policy with rūnanga is not required because none of the roads to be named are collector roads and/or sites of significance under the District Plan (clause 3 of the Naming Policy).
- 3.9 No addresses of neighbouring properties are affected by the proposed road naming (clause 12.2 of the Naming Policy).
- 3.10 The names requested have been accompanied by an explanation of the background of the names, which is summarised below, along with correspondence with the applicant.

Assessment of Significance and Engagement Te Aromatawai Whakahirahira

- 3.11 The decisions in this report are of low significance concerning the Christchurch City Council's Significance and Engagement Policy.

- 3.12 The level of significance was determined by the number of people affected and/or with an interest.
- 3.13 Council's Principal Advisor Treaty Relationships has been consulted and has raised no concerns with the suitability of the proposed Te Reo Māori names set out below.
- 3.14 Due to the assessment of low significance, no further community engagement and consultation is required.

Proposed Names

- 3.15 The proposed roads are shown in **Attachment A**.
- 3.16 Road 1 - Waianiwa Place
- 3.17 Waianiwa is a te reo Māori word for water in which the rainbow is reflected.
- 3.18 Lane 1 - Taipū Lane
- 3.19 Taipū is the te reo Māori word for sand hill or sand dune.


Alternative Names

- 3.20 Leionema Place/Lane - The New Zealand native shrub Mairehau, *Leionema nudum*, is named after Maire, an invisible Māori mist maiden. It is a small bushy shrub with narrow finely notched leaves found in the north of the North Island.
- 3.21 Anatidae Place/Lane - The Anatidae are the biological family of water birds that includes ducks, geese and swans, which are commonly seen in this area.
- 3.22 Cygnus Place/Lane - Black swan is one of the species that is present at Mairehau Road. Cygnus is the Genus for swan. Swan is also a symbol of wisdom and includes awakening power of self, balance, grace, inner beauty, innocence, self-esteem, seeing into the future, understanding spiritual, evolution, developing intuitive abilities, grace in dealing with others and commitment.
- 3.23 Sand Hill Place/Lane - Sand Hill is previous name for what would become the suburb of Burwood.
- 3.24 *Officers Note: If any alternative names are chosen, the appropriate road type will be used.*

Assessment of Names

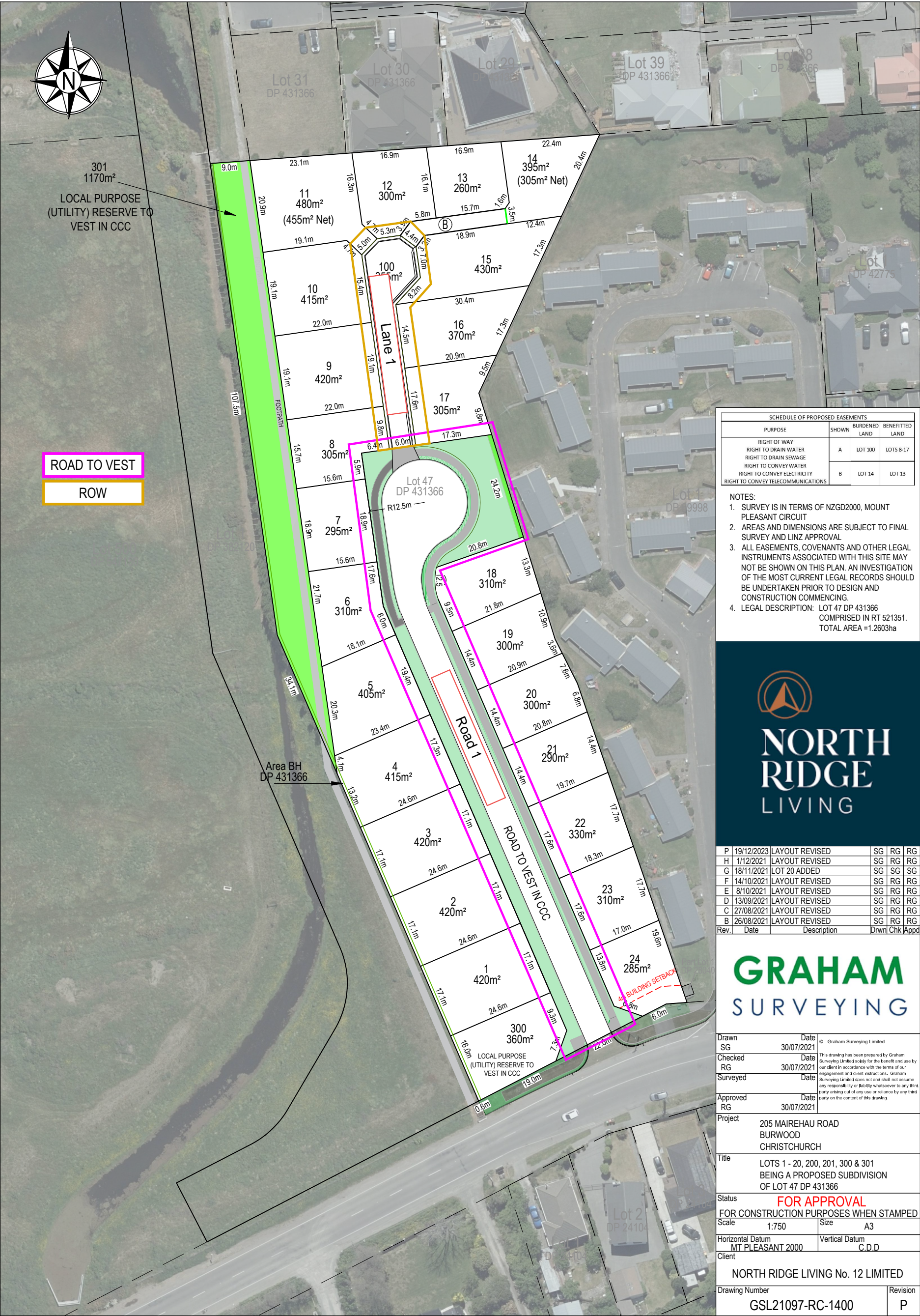
- 3.25 The above names are considered to be consistent with the policy, except for "Leionema" which is in relation to flora that is not found in this area (clause 3.4.1 above).
- 3.26 Notwithstanding, the discretion lies with the Community Board to approve any of the above name options, including the alternative names.

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A 	RMA/2022/1180 - Proposed Road Names Plan - 205 Mairehau Road	24/158025	25

Signatories Ngā Kaiwaitohu

Authors	Leashelle Miller - Planning Technician Sean Ward - Team Leader Planning
Approved By	John Higgins - Head of Planning & Consents



10. Proposed Linwood Park Changerooms

Reference / Te Tohutoro: 24/278794

Report of / Te Pou
Matua:

Richard Gibbs, Senior Project Manager, Parks

Senior Manager /
Pouwhakarae:

Andrew Rutledge, Acting General Manager Citizens and Community

1. Purpose and Origin of Report Te Pūtake Pūrongo

- 1.1 For the Board to firstly approve the proposal to remove five (5) trees from Linwood Park at the proposed site for the Linwood Change Rooms.
Secondly for the Board to approve the construction of the proposed Linwood Change Rooms.
- 1.2 This report has been written in response to the Council briefing in September 2023 to develop a design for the proposed Linwood Change Rooms as part of the Linwood Park upgrade.
- 1.3 The decisions in this report are of low significance in relation to the Christchurch City Council's Significance and Engagement Policy. The level of significance was determined by the fact that this is a renewal project of a local park's existing sub-standard changing facility.
- 1.4 The recommended option is to progress with the renewal and construction of the Linwood Changing Rooms at Linwood Park and approve the removal of the trees in the recommended location.

2. Officer Recommendations Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approve proceeding to detailed design and eventual construction of the Linwood Change Rooms at Linwood Park in Attachment A to the agenda report.
2. Approve the removal of the five trees at the proposed location of the change rooms at Linwood Park as per Attachment B and Attachment C to the agenda report.

3. Reason for Report Recommendations Ngā Take mō te Whakatau

- 3.1 The recommendations in this report have been proposed in response to the feedback from the Community Board briefing in June 2023 (Attachment D) to move forward with developed design of the changing rooms in the recommended location as supported by the Community Board, the Linwood Keas and the Council's Recreation, Sports and Events Unit.
- 3.2 Five (5) trees have been identified in the location that has been identified for the changing rooms and will require removal. Leaving the trees would result in not being able to move forward with the construction of the changing rooms in the recommended location.

4. Alternative Options Considered Ētahi atu Kōwhiringa

- 4.1 Do not build the changing rooms.
 - 4.1.1 The advantage of this option is there is no additional cost to Council.
 - 4.1.2 The disadvantage of this option is that there will be no suitable changing room facilities for the Linwood Keas rugby league club and other teams that utilise the site regularly.

- 4.2 Build changing rooms at an alternative location.
 - 4.2.1 The advantage of this option is that the five (5) trees will not need to be removed.
 - 4.2.2 The disadvantage of this option is that a new location would need to be identified resulting in further costs to the project.
- 4.3 Not approve the removal of the five (5) trees on the proposed club rooms site.
 - 4.3.1 The advantage of this option is that the five (5) trees will not be removed.
 - 4.3.2 The disadvantage of this option is that the proposed location of the change rooms is the most fit for purpose. An alternative location would need to be sought and this would incur further costs to the overall project.

5. Detail Te Whakamahuki

- 5.1 Linwood Park is a sports park used for club-based sport and community recreation. The No.1 sports field was re-surfaced in 2021 with a new drainage and irrigation system as part of an ongoing renewal programme. In 2023 the Linwood Village area was returned to a new community field following the removal of temporary housing so the Park has now been returned to its full complement of sports fields. The changing room facilities are currently provided by two existing buildings on site, one of which is known as 'The Nest' and which is flagged to be demolished in future years.
- 5.2 The development of new changing rooms supports ongoing use of Linwood Park by club-based sports groups and is part of the planned renewals for the site.
- 5.3 The scope of the project is to develop a 198 m² double changing room facility with two public toilets and four internal lockable storage rooms. The addition of four storage rooms, two for each changing room, will allow the facility to be utilised in a similar function as a four changing room facility.
- 5.4 The Linwood Keas rugby league club has supported the development of the new changing rooms as the existing 'Nest' facilities are no longer fit for purpose. The club has been actively involved in the location and layout of the new facilities.
- 5.5 The Council's Recreation, Sports and Events Unit has also been actively involved in determining the proposed location of the new changing facilities so as to avoid any clash or interference with the community users of the Te Pou Toetoe Linwood Pools.
- 5.6 Following approval to move to detailed design, the project will work with the Council's Communication and Marketing Unit to provide engagement and consultation advice to the wider community regarding the proposed work to be carried out.
- 5.7 Tree Information – Tree surveys were undertaken by Purearb Ltd, a CCC approved technician arborist. The below information has been sourced from the surveys.

Existing trees will be affected by the changing room construction.

Tree ID	Tree species	Height class	Crown spread	Overall Condition	Age Class
124029	<i>Pinus ponderosa</i>	11-19m	14.5m	Fair	Mature
124030	<i>Cupressus torulosa</i>	11-19m	12m	Fair	Mature
124031	<i>Pinus nigra</i>	11-19m	15.5m	Fair	Mature
119566	<i>Populus alba</i>	20m+	18m	Poor	Mature
113872	<i>Pinus radiata</i>	20m+	15m	Poor	Mature

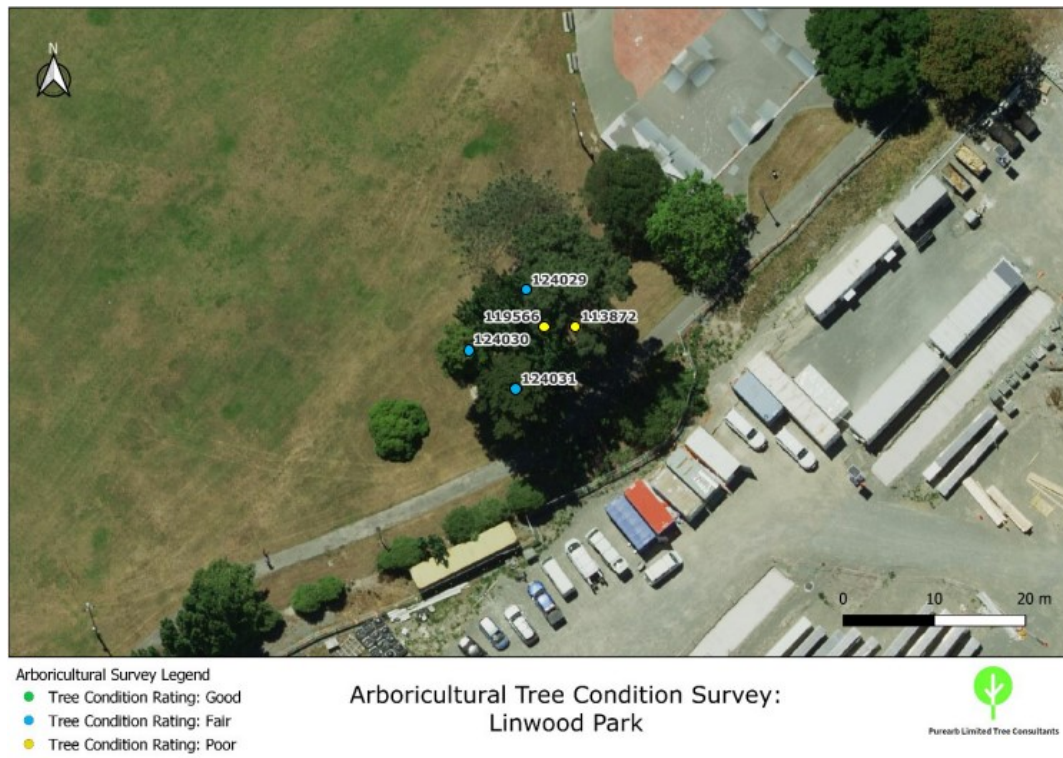


Figure 1. Aerial map showing location of the trees affected by the changerooms construction with tree IDs and condition ratings.

5.8 The decision affects the following wards/Community Board areas:

5.8.1 Waitai Coastal-Burwood-Linwood Community Board.

6. Policy Framework Implications Ngā Hiraunga ā- Kaupapa here

Strategic Alignment Te Rautaki Tīaroaro

6.1 Council's strategic priorities have been considered in formulating the recommendations in this report, including residents have access to facilities that support safe and healthy communities that enable good community public health.

6.2 This report supports the [Council's Long Term Plan \(2021 - 2031\)](#):

6.3 Parks, heritage and coastal environment

6.3.1 Activity: Parks and Foreshore

- Level of Service: 6.8.1.6 Overall Regional Sports Organisation satisfaction with the standard of the city's Council provided sports surfaces - Satisfaction $\geq 75\%$

Policy Consistency Te Whai Kaupapa here

6.4 The decision is consistent with Council's Plans and Policies.

6.5 The tree removals align with section 4.7 of Councils Tree Policy "Approval by Council for the removal of trees to facilitate projects on Council land will take into account the value of the project to the Community, including public health and/or the local environment and considerations taken for retaining existing trees compared with the loss of the benefits provided by the trees".

6.6 Tree replacement planting aligns with Section 1.9 of Councils Tree Policy. As stated in the tree policy:

- 6.6.1 For every tree removed a minimum of two new trees will be planted with the new project canopy cover replacing that which is lost within 20 years (additional planting may be required).
- 6.6.2 All trees will have a minimum establishment maintenance period of 24 months.
- 6.6.3 For removals outside of the road corridor, the location of the replacement trees will be based on the following:
 - In the same reserve (property) where the tree was removed; or
 - If no further planning in reserve (property) is required, then in the new closest road corridor or reserve that requires either new or additional planting; or
 - Within the urban forest.

Impact on Mana Whenua Ngā Whai Take Mana Whenua

- 6.7 The decision does not involve a significant decision in relation to ancestral land or a body of water or other elements of intrinsic value, therefore this decision does not specifically impact Mana Whenua, their culture and traditions.
- 6.8 The decision does not involve a matter of interest to Mana Whenua and will not impact on our agreed partnership priorities with Ngā Papatipu Rūnanga.
- 6.9 The location of the site does not overlay with any Ngāi Tahu planning.

Climate Change Impact Considerations Ngā Whai Whakaaro mā te Āhuarangi

- 6.10 The proposals in the report are unlikely to contribute significantly to the impacts of climate change adaptation.
- 6.11 The proposal to removal and replace the trees will in the first instance contribute negatively to emissions reductions with the removal of the trees and then as the new replacement trees grow contribute positively overall to emission reduction.
- 6.12 The emission reductions associated with the building in this proposal have not been estimated.

Accessibility Considerations Ngā Whai Whakaaro mā te Hunga Hauā

- 6.13 The proposal improves and supports accessibility to change room facilities.

7. Resource Implications Ngā Hīraunga Rauemi

Capex/Opex Ngā Utu Whakahaere

- 7.1 Cost to Implement - \$1.3 Million.
- 7.2 Maintenance/Ongoing costs – estimated to be \$5,000 p.a. for on-going building cleaning, servicing, repairs and power.
- 7.3 Funding Source – Linwood Park Pavilion and Toilet Renewal Capital Project Budget.

Other He mea anō

- 7.4 None identified.

8. Legal Implications Ngā Hīraunga ā-Ture

Statutory power to undertake proposals in the report Te Manatū Whakahaere Kaupapa

- 8.1 The local Community Board has the authority to approve removal of healthy and/or structurally sound tree(s) that are located within a site that is a reserve, park, public open space, or road corridor.

Other Legal Implications Ētahi atu Hīraunga-ā-Ture

- 8.2 There is no legal context, issue, or implication relevant to this decision.









9. Risk Management Implications Ngā Hīraunga Tūraru

- 9.1 None specifically identified beyond risk management associated with working in a public parks environment.

10. Next Steps Ngā Mahinga ā-muri

- 10.1 If approved, the project will continue into detailed design, tendering and construction.
- 10.2 Five trees will be removed in response to the construction of 10.1 with ten replacement trees planted.

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A  	Developed Design Linwood Change Rooms	24/449111	33
B  	Amended-Arboricultural Survey. Linwood Park - Consented Changing Rooms 30.11.23	23/2014147	45
C  	Linwood Park Changing Room Tree Plan	24/449109	54
D  	Linwood Park Renewal Briefing June 2023	24/460286	55

In addition to the attached documents, the following background information is available:

Document Name – Location / File Link
Not applicable

Confirmation of Statutory Compliance Te Whakatūtutanga ā-Ture

Compliance with Statutory Decision-making Requirements (ss 76 - 81 Local Government Act 2002).

(a) This report contains:

- (i) sufficient information about all reasonably practicable options identified and assessed in terms of their advantages and disadvantages; and
- (ii) adequate consideration of the views and preferences of affected and interested persons bearing in mind any proposed or previous community engagement.

(b) The information reflects the level of significance of the matters covered by the report, as determined in accordance with the Council's significance and engagement policy.

Signatories Ngā Kaiwaitohu

Authors	Nikki Hamilton - Senior Projects Coordinator Richard Gibbs - Senior Project Manager
Approved By	Rupert Bool - Acting Head of Parks



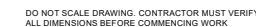
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LOCATION	LINWOOD PARK, LINWOOD AVENUE, CHRISTCHURCH 8062
CLIENT	CHRISTCHURCH CITY COUNCIL
REFERENCE	2662
ISSUED FOR	DEVELOPED DESIGN
DATE	19.02.24

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A0.02		NOTES & LEGENDS	
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A1.02		FLOOR PLAN	1:50
A1.03		ROOF PLAN	1:50
A1.04		FOUNDATION PLAN	1:50
A1.05		REFLECTED CEILING PLAN	1:50
A2.01		ELEVATIONS	1:50
A2.02		ELEVATIONS	1:50
A3.01		SECTIONS A + B	1:50
A3.02		SECTIONS C + D	1:50
A3.03		SECTIONS E + F	1:50
A3.04		SECTION G	1:50

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PROJECT: LINWOOD PARK
CHANGING ROOMS

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DATE: FEBRUARY 2024

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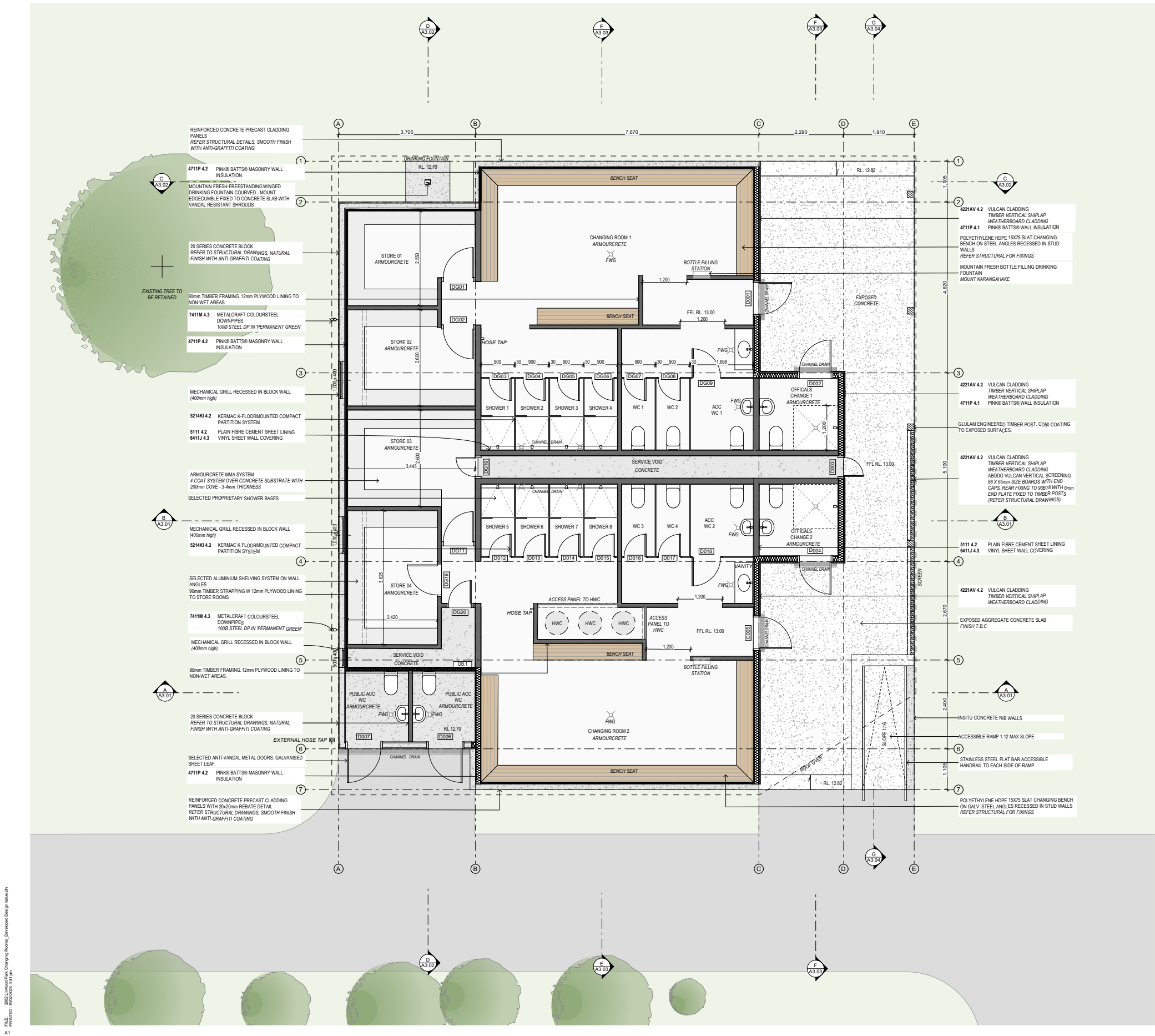
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Item 10

Attachment A



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PROJECT: LINWOOD PARK
CHANGING ROOMS

DRAWING: FLOOR PLAN

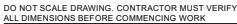
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JOB: 2662 SHEET: A1.03



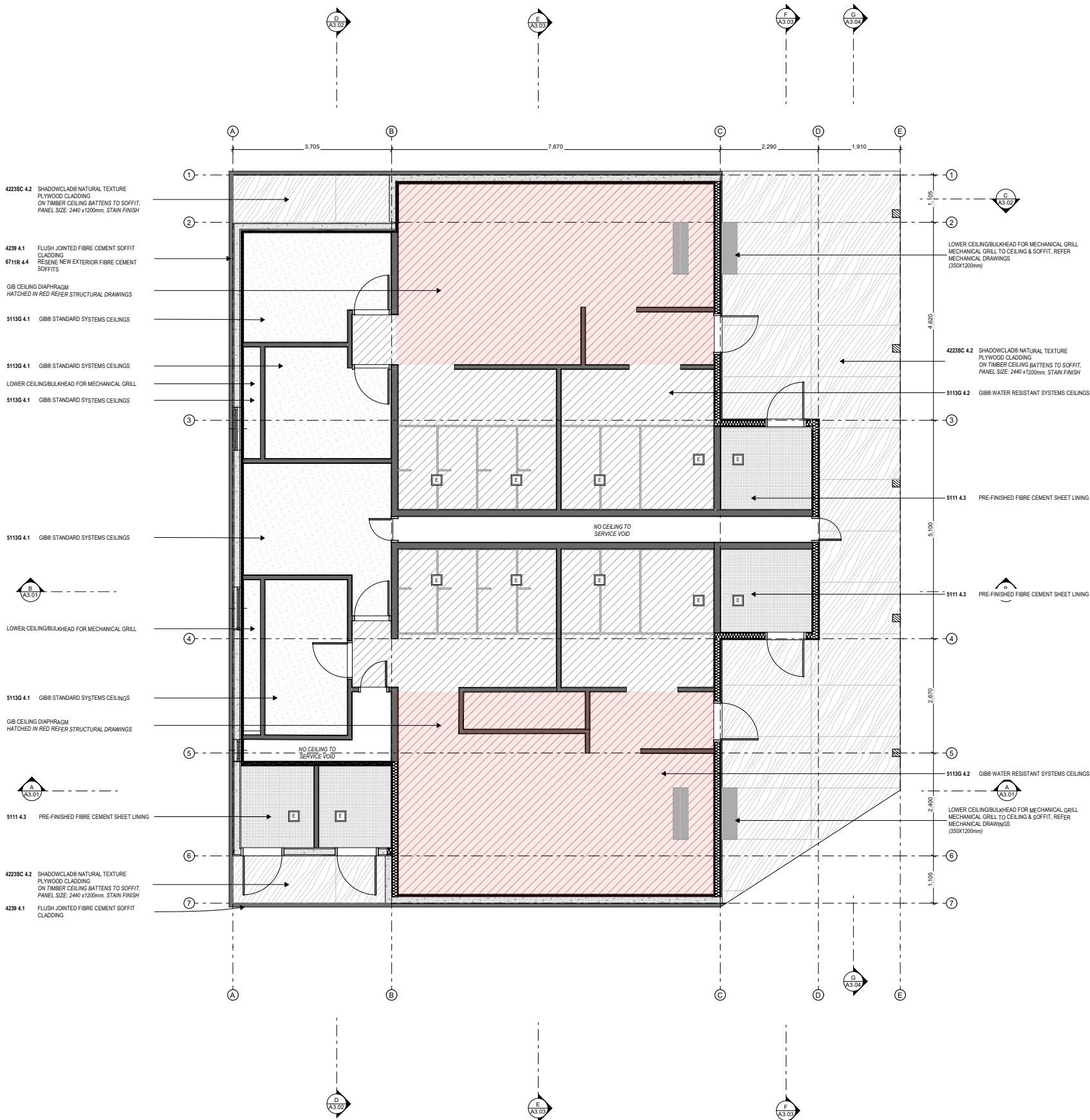
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REFLECTED CEILING PLAN KEY

- 4223SC 4.2 SHADOWCLAD® NATURAL TEXTURE
PLYWOOD CLADDING
ON TIMBER CEILING BATTENS TO SOFFIT,
PANEL SIZE: 2440 x 1200mm, STAIN FINISH
- 4239 4.1 FLUSH JOINTED FIBRE CEMENT SOFFIT
CLADDING
RESENE NEW EXTERIOR FIBRE CEMENT
SOFFITS
- 5113G 4.1 GIB® STANDARD SYSTEMS CEILINGS
- 5113G 4.2 GIB® WATER RESISTANT SYSTEMS CEILINGS
- 5111 4.3 PRE-FINISHED FIBRE CEMENT SHEET LINING
- GIB CEILING DIAPHRAGM
HATCHED IN RED REFER STRUCTURAL DRAWINGS
- LOWER CEILING/BULKHEAD FOR MECHANICAL GRILL
MECHANICAL GRILL TO CEILING & SOFFIT, REFER
MECHANICAL DRAWINGS
(350X1200mm)
- CEILING EXHAUST, REFER MECHANICAL
DRAWINGS



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PROJECT: LINWOOD PARK
CHANGING ROOMS

DRAWING: REFLECTED CEILING PLAN

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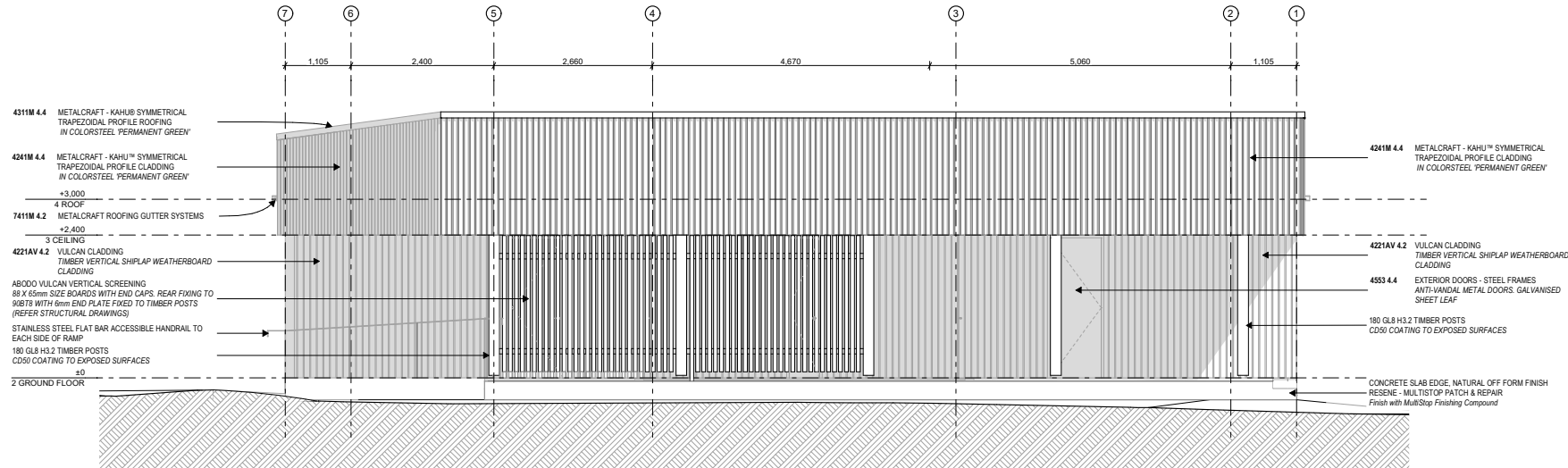
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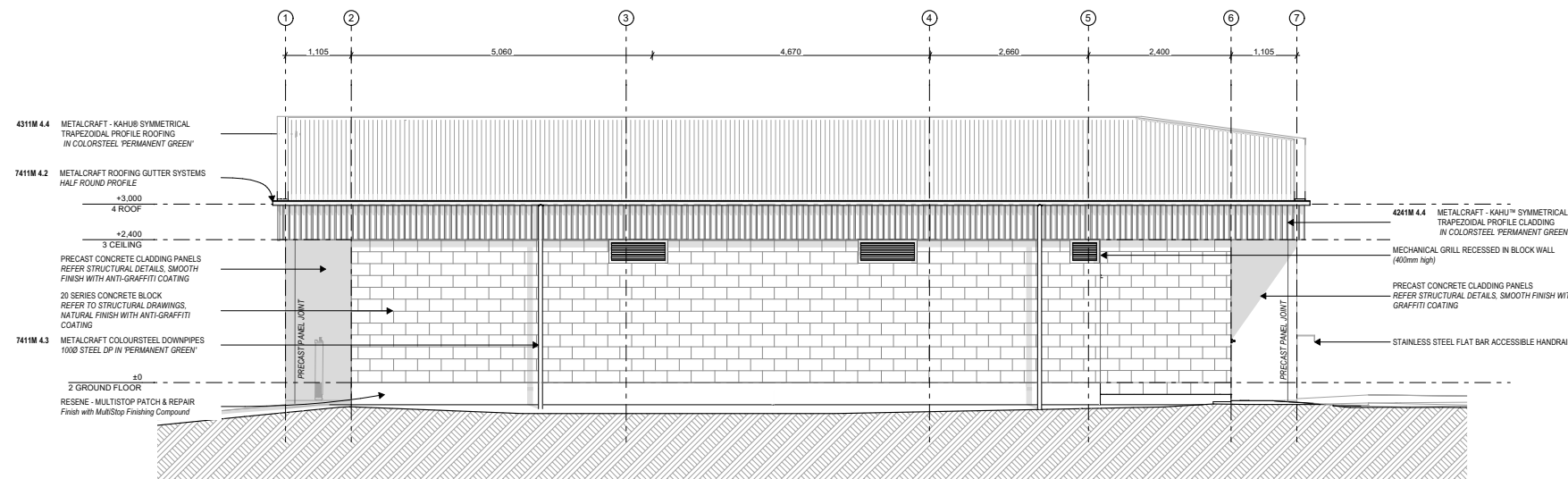
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ELEVATION MATERIAL LEGEND

4311M	Metalcraft Roofing
4311M 4.4	METALCRAFT - KAHU TM SYMMETRICAL TRAPEZOIDAL PROFILE ROOFING IN COLORSTEEL 'PERMANENT GREEN'
4241M	Metalcraft Roofing Profiled Cladding
4241M 4.4	METALCRAFT - KAHU TM SYMMETRICAL TRAPEZOIDAL PROFILE CLADDING IN COLORSTEEL 'PERMANENT GREEN'
7411M	Metalcraft Roofing Rainwater Spouting Systems
7411M 4.1	METALCRAFT FASCIA SYSTEM
7411M 4.2	METALCRAFT ROOFING GUTTER SYSTEMS
7411M 4.3	HALF ROUND PROFILE IN COLORSTEEL 'PERMANENT GREEN' METALCRAFT COLOURSTEEL DOWNPIPES 1000 STEEL DP IN 'PERMANENT GREEN'
4221AV	Abodo Vertical Cladding System
4221AV 4.2	VULCAN CLADDING TIMBER VERTICAL SHIPLAP WEATHERBOARD CLADDING ABODO VULCAN VERTICAL SCREENING 88 X 65mm SIZE BOARDS WITH END CAPS. REAR FIXING TO 90878 WITH 6mm END PLATE FIXED 30mm FROM TOP AND BOTTOM OF TIMBER POSTS
4223SC	Shadowclad Plywood Cladding
4223SC 4.2	SHADOWCLAD [®] NATURAL TEXTURE PLYWOOD CLADDING TO SOFFIT
4553	Exterior Doors
4553 4.4	EXTERIOR DOORS - STEEL FRAMES ANTI-VANDAL METAL DOORS. GALVANISED SHEET LEAF
452VL	Ventuer Performance Louvers
452VL 4.5	VENTUER VENTILATION LOUVRES
REINFORCED CONCRETE PRECAST CLADDING PANELS WITH 20x20mm REBATE DETAIL REFER STRUCTURAL DRAWINGS, SMOOTH FINISH WITH STO S-PROTECT ANTI-GRAFFITI COATING	
20 SERIES CONCRETE BLOCK REFER TO STRUCTURAL DRAWINGS, NATURAL FINISH WITH STO S- PROTECT ANTI-GRAFFITI COATING	
CONCRETE SLAB EDGE, NATURAL OFF FORM FINISH RESENE - MULTISTOP PATCH & REPAIR Finish with MultiStop Finishing Compound	



1 North Elevation 1:50



2 South Elevation 1:50

2024 Linwood Park Changing Rooms - Developed Design Issue.pdf
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PROJECT: LINWOOD PARK
CHANGING ROOMS

DRAWING: ELEVATIONS

DATE: FEBRUARY 2024

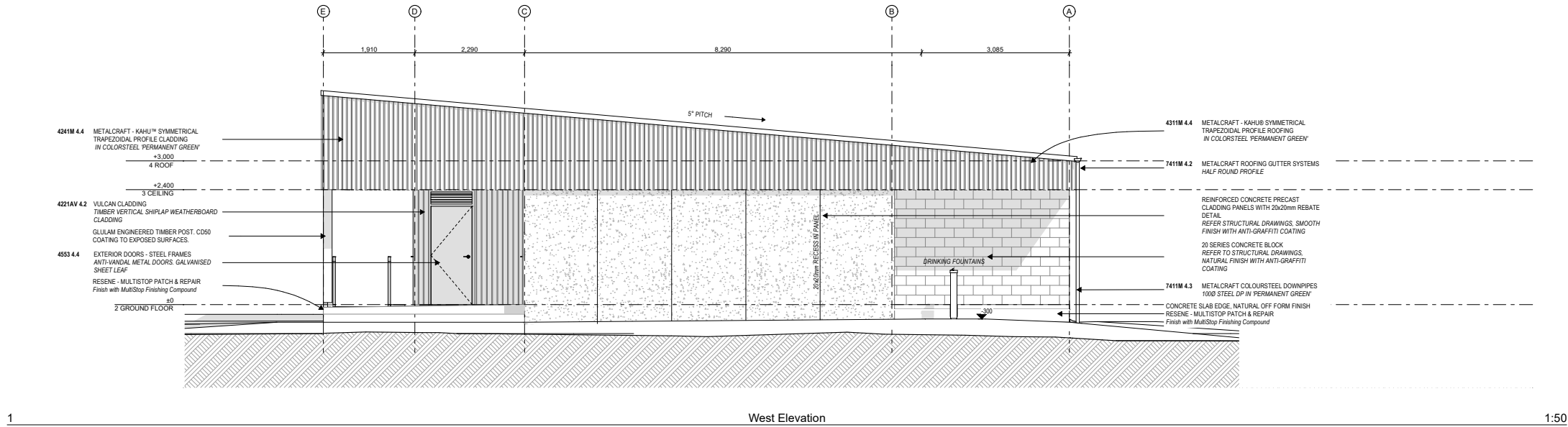
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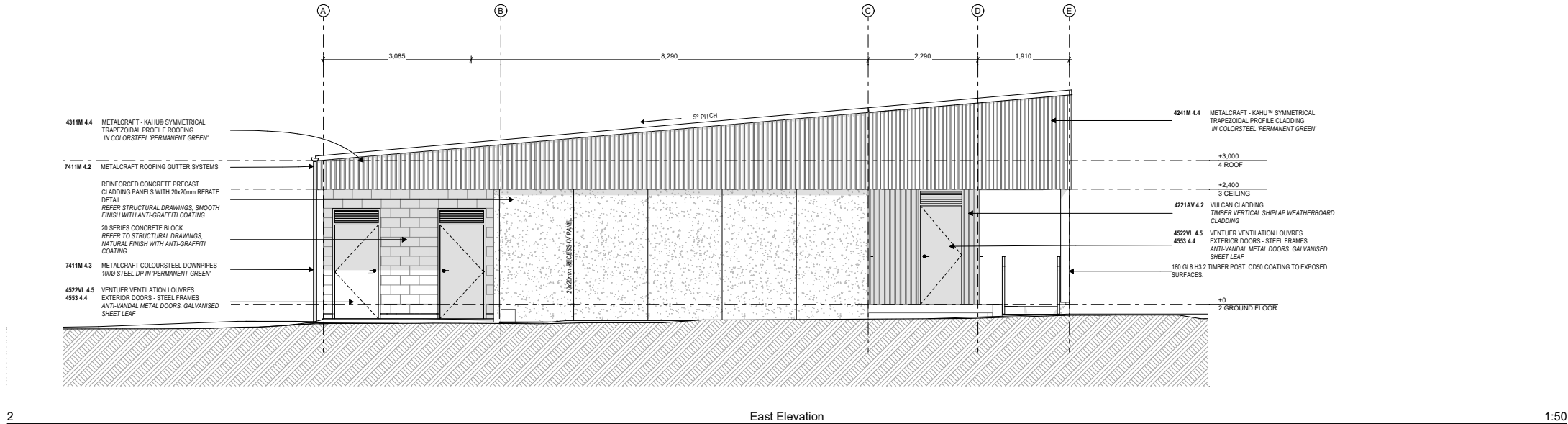
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ELEVATION MATERIAL LEGEND	
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4241M	Metalcraft Roofing Profiled Cladding
4241M 4.4	METALCRAFT - KAHU™ SYMMETRICAL TRAPEZOIDAL PROFILE CLADDING IN COLORSTEEL PERMANENT GREEN
7411M	Metalcraft Roofing Rainwater Spouting Systems
7411M 4.1	METALCRAFT FASCIA SYSTEM
7411M 4.2	METALCRAFT ROOFING GUTTER SYSTEMS HALF ROUND PROFILE IN COLORSTEEL PERMANENT GREEN
7411M 4.3	METALCRAFT COLOURSTEEL DOWNPIPES 1000 STEEL DP IN PERMANENT GREEN
4221AV	Abodo Vertical Cladding System
4221AV 4.2	VULCAN CLADDING TIMBER VERTICAL SHIPLAP WEATHERBOARD CLADDING
4221AV 4.3	ABODO VULCAN VERTICAL SCREENING 88 X 65mm SIZE BOARDS WITH END CAPS REAR FIXING TO JOISTS WITH 6mm END PLATE FIRED 30mm FROM TOP AND BOTTOM OF TIMBER POSTS
4223SC	Shadowclad Plywood Cladding
4223SC 4.2	SHADOWCLAD8 NATURAL TEXTURE PLYWOOD CLADDING TO SOFFIT
4553	Exterior Doors
4553 4.4	EXTERIOR DOORS - STEEL FRAMES ANTI-VANDAL METAL DOORS GALVANISED SHEET LEAF
452VL	Ventuer Performance Louvers
452VL 4.5	VENTUER VENTILATION LOUVRES
REINFORCED CONCRETE PRECAST CLADDING PANELS WITH 20x20mm REBATE DETAIL REFER STRUCTURAL DRAWINGS, SMOOTH FINISH WITH STO S-PROTECT ANTI-GRAFFITI COATING	
20 SERIES CONCRETE BLOCK REFER TO STRUCTURAL DRAWINGS, NATURAL FINISH WITH STO S-PROTECT ANTI-GRAFFITI COATING	
CONCRETE SLAB EDGE, NATURAL OFF FORM FINISH RESENE - MULTISTOP PATCH & REPAIR Finish with MultiStop Finishing Compound	



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PROJECT: LINWOOD PARK
CHANGING ROOMS

DRAWING: ELEVATIONS

DATE: FEBRUARY 2024

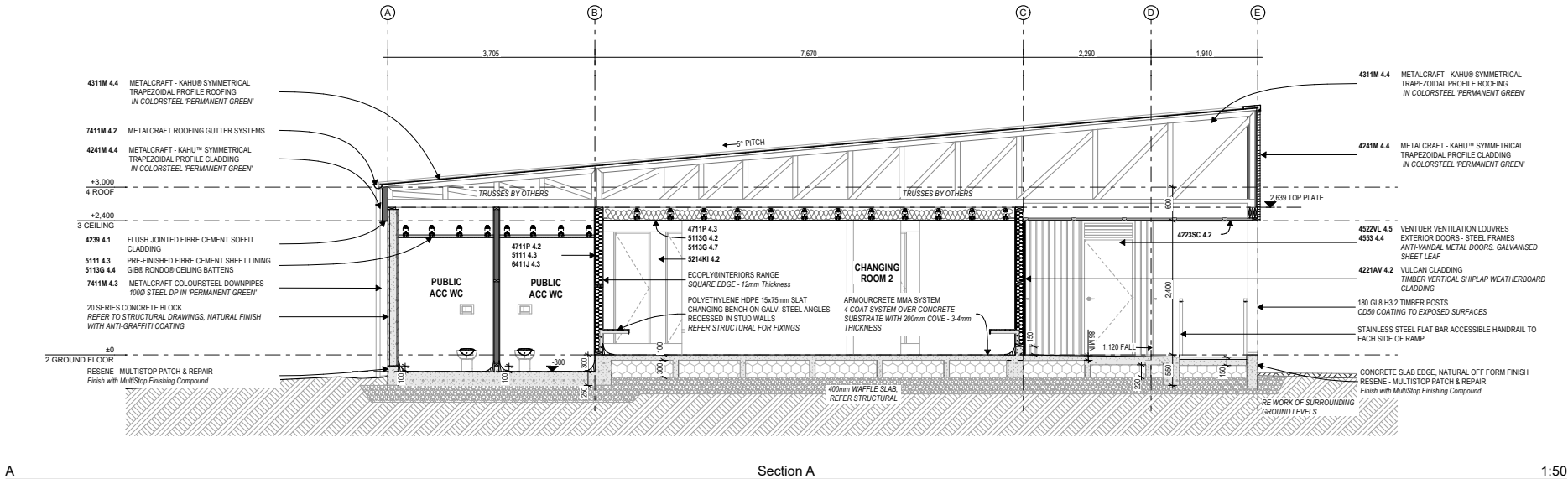
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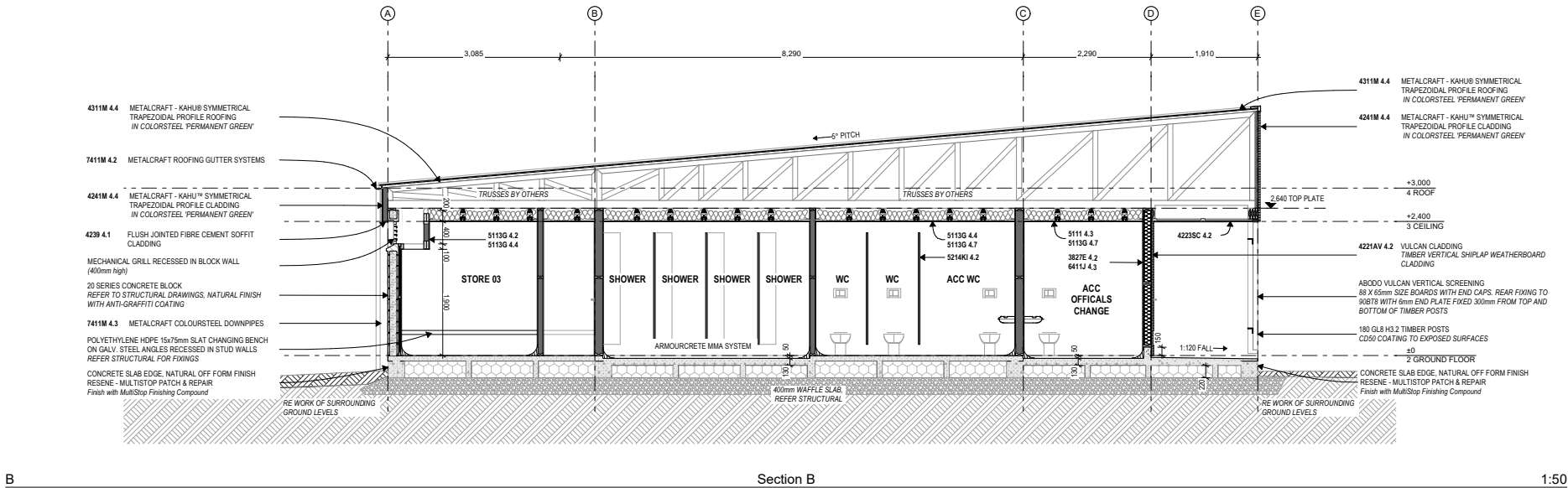
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FOR CONSTRUCTION ☐

JOB: 2662 SHEET: A2.02

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SECTION MATERIAL LEGEND	
4311M	Metalcraft Roofing
4311M 4.4	METALCRAFT - KAHU® SYMMETRICAL TRAPEZOIDAL PROFILE ROOFING IN COLORSTEEL PERMANENT GREEN
4241M	Metalcraft Roofing Profiled Cladding
4241M 4.4	METALCRAFT - KAHU® SYMMETRICAL TRAPEZOIDAL PROFILE CLADDING IN COLORSTEEL PERMANENT GREEN
7411M	Metalcraft Roofing Rainwater Spouting Systems
7411M 4.1	METALCRAFT FASCIA SYSTEM
7411M 4.2	METALCRAFT ROOFING GUTTER SYSTEMS
7411M 4.3	METALCRAFT COLOURSTEEL DOWNPIPES 1000 STEEL DP IN PERMANENT GREEN
4221AV	Abodo Vertical Cladding System
4221AV 4.2	VULCAN CLADDING TIMBER VERTICAL SHIPLAP WEATHERBOARD CLADDING ABODO VULCAN VERTICAL SCREENING 88 X 65mm SIZE BOARDS WITH END CAPS REAR FIXING TO 908T8 WITH 6mm END PLATE FIXED 300mm FROM TOP AND BOTTOM OF TIMBER POSTS
4223SC	Shadowclad Plywood Cladding
4223SC 4.2	SHADOWCLAD NATURAL TEXTURE PLYWOOD CLADDING TO SOFFIT
REINFORCED CONCRETE PRECAST CLADDING PANELS WITH 20x20mm REBAR DETAIL REFER STRUCTURAL DRAWINGS. SMOOTH FINISH WITH S-PROTECT ANTI-GRAFFITI COATING	
20 SERIES CONCRETE BLOCK REFER TO STRUCTURAL DRAWINGS. NATURAL FINISH WITH S-PROTECT ANTI-GRAFFITI COATING	
5113G	GIB Plasterboard Linings
5113G 4.1	GIB® STANDARD SYSTEMS CEILINGS
5113G 4.2	GIB® WATER RESISTANT SYSTEMS CEILINGS
5113G 4.4	GIB® RONDØB CEILING BATTENS
5111	Fibre Cement Sheet Linings
5111 4.2	PLAIN FIBRE CEMENT SHEET LINING
5111 4.3	PRE-FINISHED FIBRE CEMENT SHEET LINING
6411J	Jacobson Vinyl Surfacing
6411J 4.3	VINYL SHEET WALL COVERING
5214KI	KerMac Industries Toilet Partition Systems
5214KI 4.2	KERMAC K-FLOORMOUNTED COMPACT PARTITION SYSTEM
4711P	Pink® Batt® Thermal Insulation
4711P 4.1	PINK® BATT® WALL INSULATION R3.2, 140mm Thickness R1.0, 40mm Thickness
4711P 4.3	PINK® BATT® CEILING INSULATION R3.2, 170mm Thickness
3827E	Ecoply Plywood Bracing System
3827E 4.2	ECOPLY® STRUCTURAL PLYWOOD ECOPLY® INTERIORS RANGE SQUARE EDGE - 12mm Thickness
ARMOURCRETE MMA SYSTEM 4 COAT SYSTEM OVER CONCRETE SUBSTRATE WITH 200mm COVE - 3-4mm THICKNESS	



0801 Linwood Park Changing Rooms - Detailed Design Issue 04
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PROJECT: LINWOOD PARK
CHANGING ROOMS

DRAWING: SECTIONS A + B

DATE: FEBRUARY 2024

SCALE: 1:50 (1/2 SCALE @ A3)

DRAWN: SR

DRAWING STATUS: FOR INFORMATION
FOR TENDER ☐ FOR CONSTRUCTION ☐

JOB: 2662 SHEET: A3.01

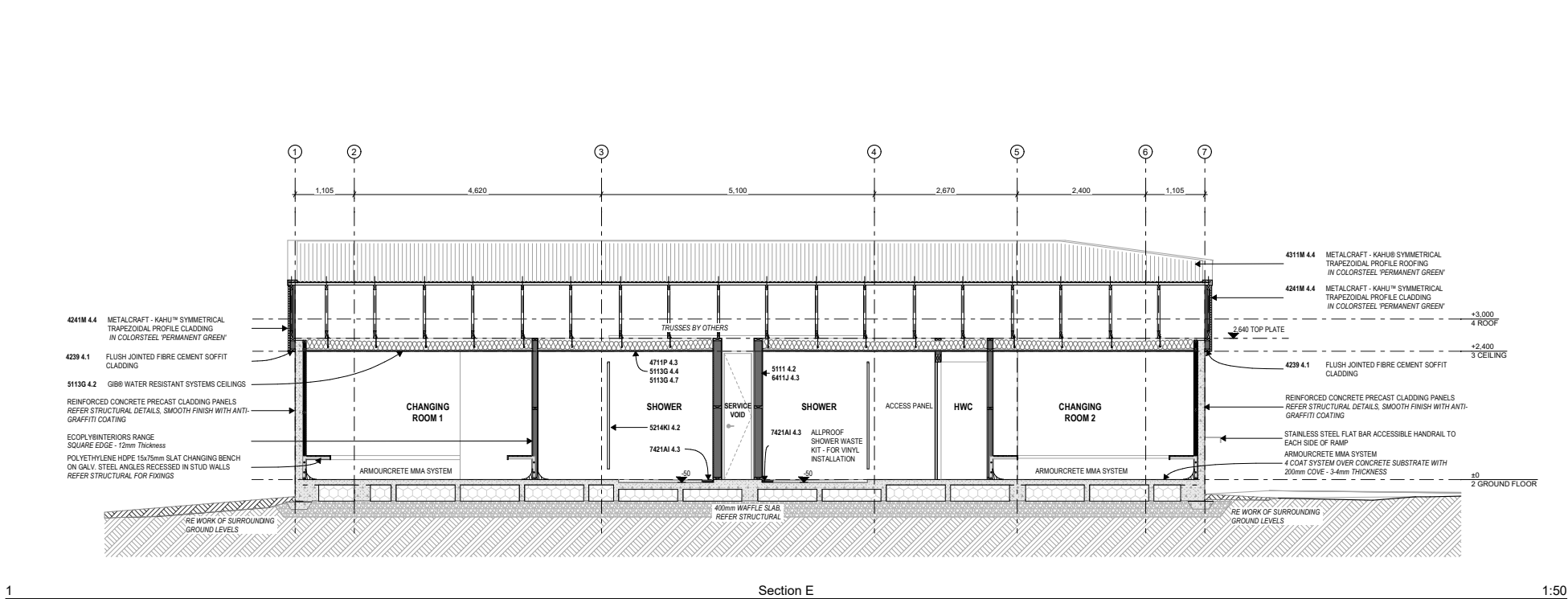
SECTION MATERIAL LEGEND	
4311M	Metacraft Profilled Roofing
4311M 4.4	METACRAFT - KAHUHI SYMMETRICAL TRAPEZOIDAL PROFILE ROOFING IN COLORSTEEL PERMANENT GREEN
42411M	Metacraft Roofing Profilled Cladding
42411M 4.4	METACRAFT - KAHUHI SYMMETRICAL TRAPEZOIDAL PROFILE CLADDING IN COLORSTEEL PERMANENT GREEN
7411M	Metacraft Roofing Rainwater Spouting Systems
7411M 4.1	METACRAFT FASCIA SYSTEM
7411M 4.2	METACRAFT ROOFING GUTTER SYSTEMS
7411M 4.3	HALF ROUND PROFILE IN COLORSTEEL PERMANENT GREEN
7411M 4.3	METACRAFT COLOURSTEEL DOWNPIPES
	1000 STEEL DP IN PERMANENT GREEN
4221AV	Abodo Vertical Cladding System
4221AV 4.2	VULCAN CLADDING
	TIMBER VERTICAL SHAP LAP WEATHERBOARD CLADDING
	ABODO VULCAN VERTICAL SCREENING
	80 X 65mm SIZE BOARDS WITH END CAPS, REAR FIXING TO 90x875mm PERMANENT GREEN
	6mm END PLATE FIXES 300mm FROM TOP AND BOTTOM OF TIMBER PROFILE
4223SC	Shadowclad Plywood Cladding
4223SC 4.2	SHADOWCLAD® NATURAL TEXTURE PLYWOOD CLADDING TO SOFFIT
	REINFORCED CONCRETE PRECAST CLADDING PANELS WITH 20x20mm REBAR DETAIL
	REFER STRUCTURAL DRAWINGS
	SMOOTH FINISH WITH STO S-PROTECT ANTI-GRAFFITI COATING
	20 SERIES CONCRETE BLOCK REFER TO STRUCTURAL DRAWINGS, FINISH WITH STO S-PROTECT ANTI-GRAFFITI COATING
5115D	GIB Plasterboard Linings
5115D 4.1	GIBB STANDARD SYSTEMS CEILINGS
5115D 4.2	GIBB WATER RESISTANT SYSTEMS
5115D 4.4	GIBB RONDØB CEILING BATTENS
5111	Fibre Cement Sheet Linings
5111 4.2	PLAIN FIBRE CEMENT SHEET LINING
5111 4.3	PRE-FINISHED FIBRE CEMENT SHEET LINING
6411J	Jacobson Vinyl Surfacing
6411J 4.3	VINYL SHEET WALL COVERING
524K6I	Kermac Industries Toilet Partition Systems
524K6I 4.2	KERMAC K-FLOOR/MOUNTED COMPART FACILITY SYSTEM
4711P	Pink® Battos® Thermal Insulation
4711P 4.1	PINK® BATTOS® WALL INSULATION R3.2, 140mm Thickness
	R3.2, 90mm Thickness
	R3.1, 40mm Thickness
4711P 4.3	PINK® BATTOS® CEILING INSULATION R3.2, 170mm Thickness
3827E	Ecoply Plywood Bracing System
3827E 4.2	ECOPLY® STRUCTURAL PLYWOOD
	ECOPLY®INTERIORS RANGE
	SQUARE EDGE - 12mm Thickness
	ARMOURCRETE MMA SYSTEM
	4 COAT SYSTEM OVER CONCRETE SUBSTRATE WITH 200mm COV® - 34mm THICKNESS



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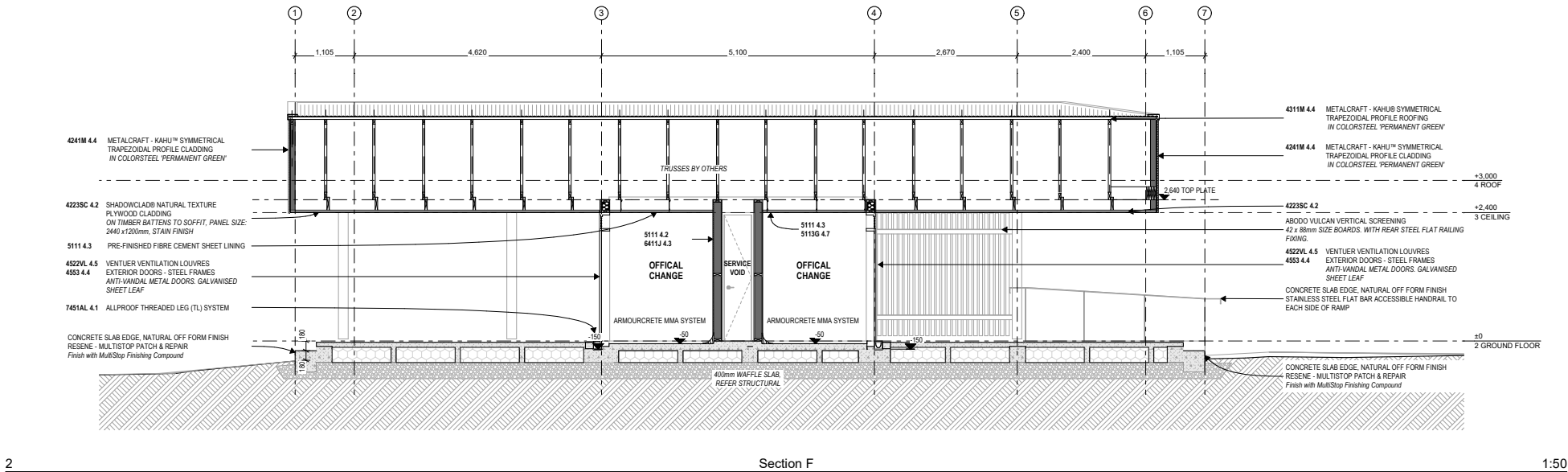
JOB: 2662 SHEET: A3.02

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SECTION MATERIAL LEGEND

4311M	Metalcraft Profiled Roofing
4311M 4.4	METALCRAFT - KAHU TM SYMMETRICAL TRAPEZOIDAL PROFILE ROOFING IN COLORSTEEL PERMANENT GREEN
4241M	Metalcraft Roofing Profiled Cladding
4241M 4.4	METALCRAFT - KAHU TM SYMMETRICAL TRAPEZOIDAL PROFILE CLADDING IN COLORSTEEL PERMANENT GREEN
7411M	Metalcraft Roofing Rainwater Spouting Systems
7411M 4.1	METALCRAFT FASCIA SYSTEM
7411M 4.2	METALCRAFT ROOFING GUTTER SYSTEMS
7411M 4.3	HALF ROUND PROFILE IN COLORSTEEL PERMANENT GREEN METALCRAFT COLOURSTEEL DOWNPIPES 1000 STEEL DP IN PERMANENT GREEN
4221AV	Abodo Vertical Cladding System
4221AV 4.2	VULCAN CLADDING TIMBER VERTICAL SHIPLAP WEATHERBOARD CLADDING ABODO VULCAN VERTICAL SCREENING 88 X 65mm SIZE BOARDS WITH END CAPS REAR FIXING TO JOISTS WITH 6mm END PLATE FIXED 300mm FROM TOP AND BOTTOM OF TIMBER POSTS
4223SC	Shadowclad Plywood Cladding
4223SC 4.2	SHADOWCLAD NATURAL TEXTURE PLYWOOD CLADDING TO SOFFIT
	REINFORCED CONCRETE PRECAST CLADDING PANELS WITH 20x20mm REBAR DETAIL REFER STRUCTURAL DRAWINGS SMOOTH FINISH WITH STO 5-PROTECT ANTI-GRAFFITI COATING
	20 SERIES CONCRETE BLOCK REFER TO STRUCTURAL DRAWINGS NATURAL FINISH WITH STO 5-PROTECT ANTI-GRAFFITI COATING
5113G	GIB Plasterboard Linings
5113G 4.1	GIB STANDARD SYSTEMS CEILING
5113G 4.2	GIB WATER RESISTANT SYSTEMS CEILING
5113G 4.4	GIB RONDOR CEILING BATTENS
5111	Fibre Cement Sheet Linings
5111 4.2	PLAIN FIBRE CEMENT SHEET LINING
5111 4.3	PRE-FINISHED FIBRE CEMENT SHEET LINING
6411J	Jacobson Vinyl Surfacing
6411J 4.3	VINYL SHEET WALL COVERING



4311M 4.4	METALCRAFT - KAHU TM SYMMETRICAL TRAPEZOIDAL PROFILE ROOFING IN COLORSTEEL PERMANENT GREEN
4241M 4.4	METALCRAFT - KAHU TM SYMMETRICAL TRAPEZOIDAL PROFILE CLADDING IN COLORSTEEL PERMANENT GREEN
4223SC 4.2	ABODO VULCAN VERTICAL SCREENING 42 x 88mm SIZE BOARDS WITH REAR STEEL FLAT RAILING FIXING
4529VL 4.3	VENTURER VENTILATION LOUVRES
453 4.4	EXTERIOR DOORS - STEEL FRAMES ANTI-VANDAL METAL DOORS GALVANISED SHEET LEAF
7451AL 4.1	ALLPROOF THREADED LEG (TL) SYSTEM
	CONCRETE SLAB EDGE NATURAL OFF FORM FINISH RESINE - MULTISTOP PATCH & REPAIR Finish with MultiStop Finishing Compound
4223SC 4.2	SHADOWCLAD NATURAL TEXTURE PLYWOOD CLADDING ON TIMBER BATTENS TO SOFFIT PANEL SIZE 2440 x 1200mm STAIN FINISH
5111 4.3	PRE-FINISHED FIBRE CEMENT SHEET LINING
4529VL 4.3	VENTURER VENTILATION LOUVRES
453 4.4	EXTERIOR DOORS - STEEL FRAMES ANTI-VANDAL METAL DOORS GALVANISED SHEET LEAF
7451AL 4.1	ALLPROOF THREADED LEG (TL) SYSTEM
	CONCRETE SLAB EDGE NATURAL OFF FORM FINISH RESINE - MULTISTOP PATCH & REPAIR Finish with MultiStop Finishing Compound

4311M 4.4	METALCRAFT - KAHU TM SYMMETRICAL TRAPEZOIDAL PROFILE ROOFING IN COLORSTEEL PERMANENT GREEN
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7451AL 4.1	ALLPROOF THREADED LEG (TL) SYSTEM
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	CONCRETE SLAB EDGE NATURAL OFF FORM FINISH RESINE - MULTISTOP PATCH & REPAIR Finish with MultiStop Finishing Compound

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7451AL 4.1	ALLPROOF THREADED LEG (TL) SYSTEM
	CONCRETE SLAB EDGE NATURAL OFF FORM FINISH RESINE - MULTISTOP PATCH & REPAIR Finish with MultiStop Finishing Compound

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7451AL 4.1	ALLPROOF THREADED LEG (TL) SYSTEM
	CONCRETE SLAB EDGE NATURAL OFF FORM FINISH RESINE - MULTISTOP PATCH & REPAIR Finish with MultiStop Finishing Compound

4311M 4.4	METALCRAFT - KAHU TM SYMMETRICAL TRAPEZOIDAL PROFILE ROOFING IN COLORSTEEL PERMANENT GREEN
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7451AL 4.1	ALLPROOF THREADED LEG (TL) SYSTEM
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4529VL 4.3	VENTURER VENTILATION LOUVRES
453 4.4	EXTERIOR DOORS - STEEL FRAMES ANTI-VANDAL METAL DOORS GALVANISED SHEET LEAF
7451AL 4.1	ALLPROOF THREADED LEG (TL) SYSTEM
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w www.sheppardandroute.com

SHEPPARD & ROUT

PROJECT: LINWOOD PARK
CHANGING ROOMS

DRAWING: SECTIONS E + F

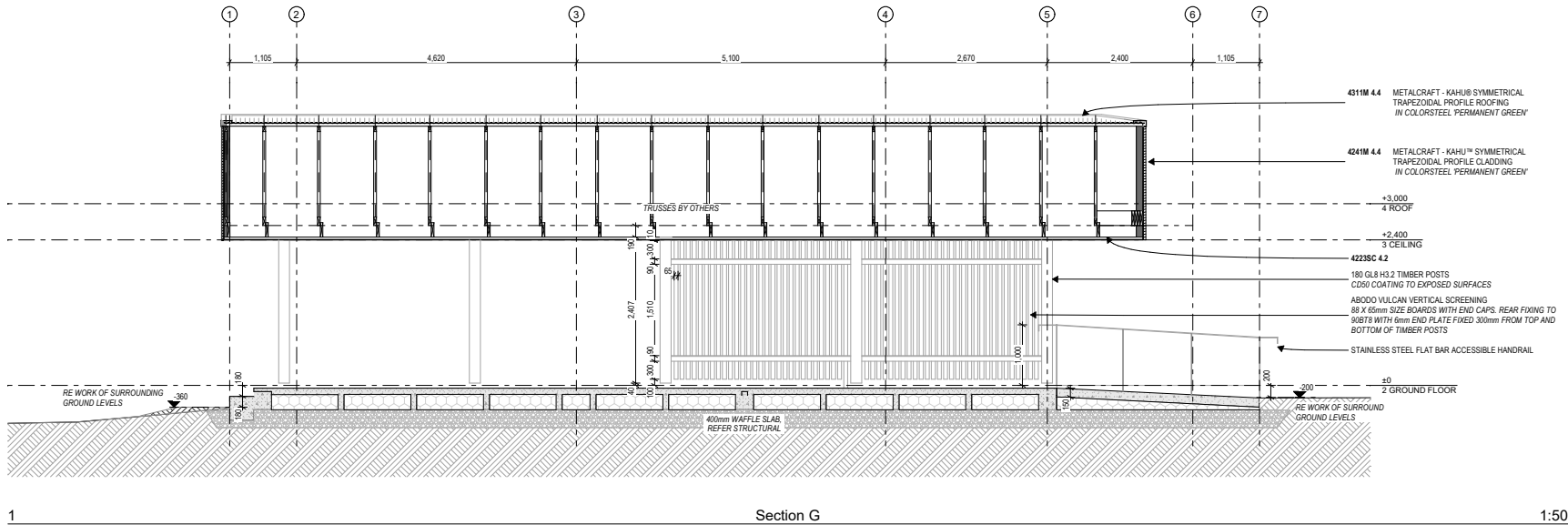
DATE: FEBRUARY 2024

SCALE: 1:50 (1/2 SCALE @ A3)

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DRAWING STATUS: FOR INFORMATION
FOR TENDER ☐ FOR CONSTRUCTION ☐

JOB: 2662 SHEET: A3.03



SECTION MATERIAL LEGEND

4311M	Metalcraft Profled Roofing
4311M 4.4	METALCRAFT - KAHU® SYMMETRICAL TRAPEZOIDAL PROFILE ROOFING IN COLORSTEEL PERMANENT GREEN
4241M	Metalcraft Roofing Profled Cladding
4241M 4.4	METALCRAFT - KAHU® SYMMETRICAL TRAPEZOIDAL PROFILE CLADDING IN COLORSTEEL PERMANENT GREEN
7411M	Metalcraft Roofing Rainwater Spouting Systems
7411M 4.1	METALCRAFT FASCIA SYSTEM
7411M 4.2	METALCRAFT ROOFING GUTTER SYSTEMS
7411M 4.3	METALCRAFT COLOURSTEEL DOWNPIPES 1000 STEEL DP IN PERMANENT GREEN
4221AV	Abodo Vertical Cladding System
4221AV 4.2	VULCAN CLADDING TIMBER VERTICAL SHIP LAP WEATHERBOARD CLADDING ABODO VULCAN VERTICAL SCREENING 88 X 65mm SIZE BOARDS WITH END CAPS REAR FIXING TO 9878 WITH 6mm END PLATE FIXED 300mm FROM TOP AND BOTTOM OF TIMBER POSTS
4223SC	Shadowclad Plywood Cladding
4223SC 4.2	SHADOWCLAD NATURAL TEXTURE PLYWOOD CLADDING TO SOFFIT REINFORCED CONCRETE PRECAST CLADDING PANELS WITH 20x20mm REBAR DETAIL REFER STRUCTURAL DRAWINGS SMOOTH FINISH WITH STO S-PROTECT ANTI-GRAFFITI COATING 20 SERIES CONCRETE BLOCK REFER TO STRUCTURAL DRAWINGS NATURAL FINISH WITH STO S-PROTECT ANTI-GRAFFITI COATING
5113G	GIB Plasterboard Linings
5113G 4.1	GIB® STANDARD SYSTEMS CEILINGS
5113G 4.2	GIB® WATER RESISTANT SYSTEMS CEILINGS
5113G 4.4	GIB® ROND® CEILING BATTENS
5111	Fibre Cement Sheet Linings
5111 4.2	PLAIN FIBRE CEMENT SHEET LINING
5111 4.3	PRE-FINISHED FIBRE CEMENT SHEET LINING
6411J	Jacobson Vinyl Surfacing
6411J 4.3	VINYL SHEET WALL COVERING
5214KI	KerMac Industries Toilet Partition Systems
5214KI 4.2	KERMAC K-FLOORMOUNTED COMPACT PARTITION SYSTEM
4711P	Pink® Batts® Thermal Insulation
4711P 4.1	PINK® BATTS® WALL INSULATION R3.2, 140mm Thickness R2.2, 80mm Thickness R1.0, 40mm Thickness
4711P 4.3	PINK® BATTS® CEILING INSULATION R3.2, 170mm Thickness
3827E	Ecoply Plywood Bracing System
3827E 4.2	ECOPLY® STRUCTURAL PLYWOOD ECOPLY® INTERIORS RANGE SQUARE EDGE - 12mm Thickness
	ARMOURCRETE MMA SYSTEM 4 COAT SYSTEM OVER CONCRETE SUBSTRATE WITH 200mm COVE - 3-4mm THICKNESS

SHEPPARD & ROUT ARCHITECTS LTD
m PO Box 2426, Christchurch 8140
p 104 Salisbury Street, Christchurch 8013
t +64 3 366 1562
e admin@sheproul.com
w www.sheproul.com

PROJECT: LINWOOD PARK
CHANGING ROOMS

DRAWING: SECTION G

DATE: FEBRUARY 2024

SCALE: 1:50 (1/2 SCALE @ A3)

DRAWN: SR

DRAWING STATUS: FOR TENDER ☐ FOR INFORMATION ☒
FOR CONSTRUCTION ☐

JOB: 2662 SHEET: A3.04

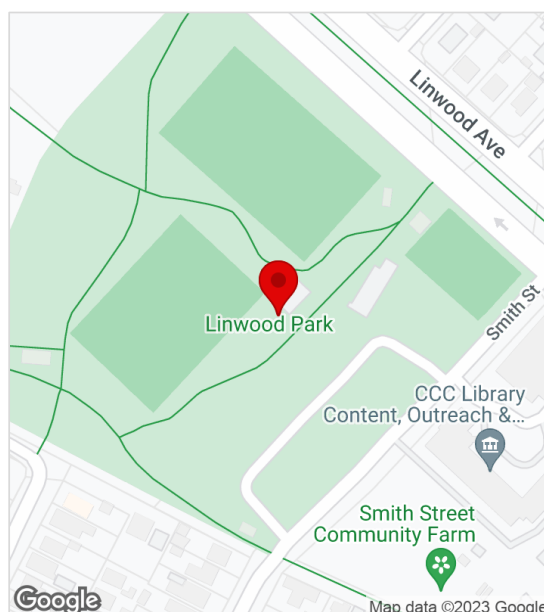
SHEPPARD & ROUT

Arboricultural Tree Condition Survey: Linwood Park, Linwood, Christchurch



Purearb Limited Tree Consultants

Technical Arborist	Martin Andrews, Purearb Ltd. www.purearb.co.nz
Project	Linwood Park: Changing Rooms Development
Location	Linwood Park, Linwood, Christchurch
Project Lead	Jonathan Hansen, CCC Arborist – Parks Sector South
Survey Scope	Tree Health & Structure Condition Survey



PUREARB LTD
Sarikei Avenue, Northwood



Arboricultural Survey: Linwood Park



Purearb Limited Tree Consultants

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Arboricultural Survey: Linwood Park



Purearb Limited Tree Consultants

Introduction

Jonathan Hansen – Parks Arborist, has commissioned this report for the Christchurch City Council's Parks Department. Purearb has been asked to evaluate and assess the condition of the trees in proximity to the consented Changing Rooms' development that will be affected by the works required.

Report Methodologies

Methodologies	<p>The survey is an on-site arboricultural (viewpoint) assessment of the trees. The information and comments in this survey were deemed, to the best of the author's knowledge, accurate at the time of inspection – November 8th.</p> <p>The baseline inspection was undertaken using the ground-level visual assessment method - described as the <i>Visual Tree Assessment</i> method Mattheck and Breloer (1994).</p> <p>The visual assessment accounts for the tree inspected on-site, assessed per the principles detailed in the Christchurch City Council's Tree Condition Assessment 2017 (Table 1).</p> <p>The recommendations included in this tree survey should not be regarded as a definitive action plan but as a basis for other associated plans, discussions, and ongoing assessments.</p>
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Table 1: Condition Assessment Methodology

Description	Very Good	Good	Fair	Poor	Very Poor
Assessment of Tree Health	No more than approximately 5% foliage density loss, discolouration or disease, below ideal leaf size or shoot growth, dieback, dead wood, or other disorders.	Approximately 6-10% foliage density loss, discolouration or disease, below ideal leaf size or shoot growth, dieback, dead wood, or other disorders.	Approximately 11-30% foliage density loss, discolouration or disease, below ideal leaf size or shoot growth, dieback, dead wood, or other disorders.	Approximately 31-70% foliage density loss, discolouration or disease, below ideal leaf size or shoot growth, dieback, dead wood or other disorders.	Tree dead or state of severe decline. More than approximately 70% foliage density loss, discolouration or disease, below ideal leaf size or shoot growth, dieback, dead wood or other disorders.
Assessment of Tree Structure	No structural defects or abnormalities (including roots and trunk taper).	Defects (including roots and trunk taper) do not affect structural integrity or continued wellbeing of tree.	Defects (including roots and trunk taper) present but can be rectified in order to maintain the structural integrity and continued wellbeing of tree.	Tree maintenance may improve the framework or the continued wellbeing of tree. Defects (including roots and trunk taper) result in loss of structural integrity, may be mitigated but unlikely to be rectified.	Tree dead or state of severe decline. Total loss of structural integrity of tree. Tree maintenance cannot improve the framework or the continued wellbeing of tree. Defects (including roots and trunk taper) result in loss of structural integrity, and cannot be mitigated or rectified.
Condition Rating	1	2	3	4	5

Project Scope

The activities at Linwood Park will result in changes to the existing layout within the vicinity of the Linwood Pool parking area, including earthworks for the building's foundations and even cumulative effects associated with general movement on-site.

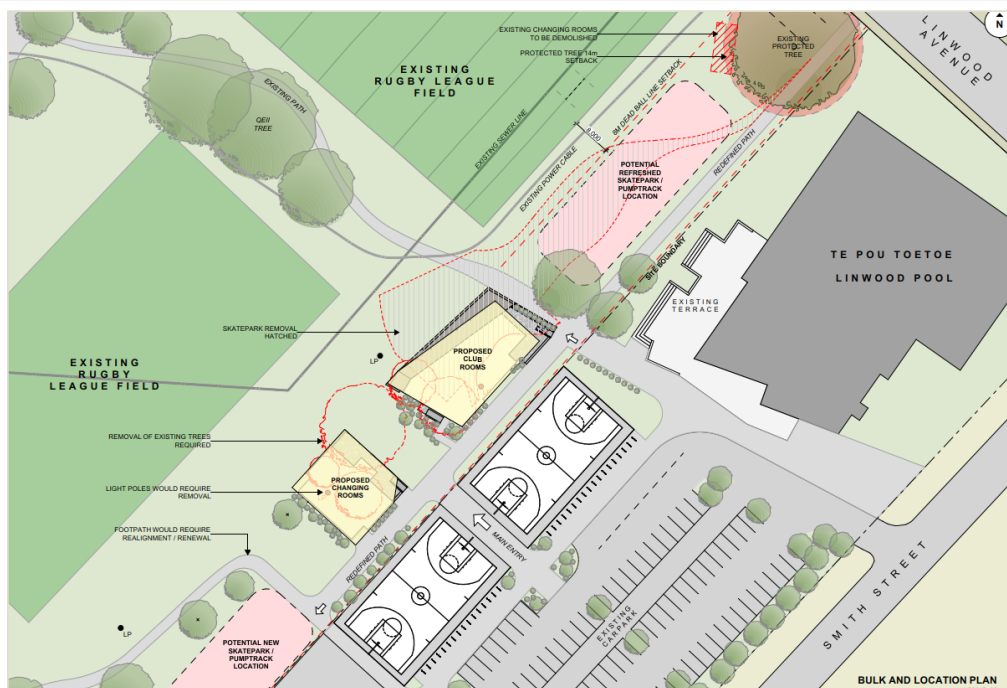
Based upon the proposed activities, at the time of the tree survey, up to five (5) trees were identified as being within the immediate vicinity of the works that will be affected.

Arboricultural Survey: Linwood Park



Purearb Limited Tree Consultants

Project Overview



Survey Summary

A survey of the trees located within the project area was carried out in November 2023 to determine their health and structural condition.

The trees have been identified, assessed individually and plotted on the attached aerial (2D) map for visual identification (Pg.7), recognised via a specific reference number; trees surveyed on-site include five trees growing to the stand.

The tables below outline the findings from the survey. For a more detailed study account with individual tree data, please refer to Pg.5.

Condition assessment					
	Very Poor	Poor	Fair	Good	Very Good
Health	0	1	2	2	0
Structure	0	1	4	0	0
Overall Condition Rating	0	2	4	0	0

Protection Status	
Non	Public Realm (> 10m CCC Park)
0	5

Age Class			
Juvenile	Semi-mature	Mature	Over-mature
0	0	5	0

Arboricultural Survey: Linwood Park



Purearb Limited Tree Consultants

Arborist Inspection Comments	<p>Visual assessment of the vitality of five trees via growing patterns in shoot growth and branch architecture through changes in crown structure decreasing, visible through the trees' transparency within the top third of the subject trees, indicated Poor-Fair-Good vitality; growing conditions create naturally occurring internal necrosis material.</p> <p>There is evidence of apical stem(s) decline, bark and cambium lesions, with several cankers near the wounds to tree 119566: visible reduced canopy density to the upper canopy, with evidence of necrosis material.</p> <p>The form of the trees represents their relationship to their environment, influenced by the adjacent trees, creating asymmetrical canopies with several visibly leaning trees; past pruning activities have also contributed to the structural form of the trees.</p> <p>There is evidence of soil mounding to the leaning side and depression to the leeward side of tree 113872, possibly indicating a historical partial (root-plate) uprooting event; no opening in the canopy with the adjoining trees to suggest movement of the root system and the growth of new increment wood seems to be keeping pace with the changing curvature structure.</p>
Arboricultural Impact Assessment	<p>Based upon the proposed activities, at the time of the tree survey, five (5) trees were identified as being within the immediate vicinity of the works.</p> <p>If the proposed construction of the building occurs, it would not be possible to retain the trees due to the building's footprint and/or major encroachment into the Tree Protection Zone (TPZ) of the trees.</p> <p><i>(TPZ: A specified area above and below ground and at a given distance from the trunk set aside for the protection of a tree's roots and crown to provide for the viability and stability of a tree to be retained where it is potentially subject to damage by development.)</i></p> <p>Further design investigations should be carried out to confirm whether the extent of the works can be reduced or redesigned to accommodate the retention of the trees.</p> <p>The stand of trees is the remnants of a larger group of plantings to Linwood Park's southeast boundary, potentially resulting in the removal of smaller to medium-sized trees due to the proximity to the redevelopment of the adjacent (Linwood Pool) site.</p> <p>The stand provides minor usefulness or ecosystem services, contributing to noise reduction, wildlife habitat, tree bioengineering, UV protection, and removal of transport-related particulate pollutants.</p> <p>There are numerous other trees within the vicinity of the subject trees, and their viewing catchment/prominence within the landscape is partly obscured by the park's periphery trees or built (concrete) structures, reducing the trees' aesthetic contribution.</p> <p>In terms of climate, by virtue of size and location, the stand provides moderate influential merit towards shading and cooling, which reduces energy costs, removing greenhouse gases through the processes of photosynthesis (oxygen, being the by-product of this process is released back into the air), carbon sequestration, and reducing temperatures associated with heat island effect in the urban environment.</p> <p>Potential effects for the loss of landscape and environmental benefits would be mitigated with plantings as part of the urban forest plan proposals for the park, and the proposed replacement trees will fully mitigate the loss of landscape and environmental benefits within 15 – 20 years.</p>

Arboricultural Survey: Linwood Park



Purearb Limited Tree Consultants

Global Consent & CCC Tree Policy Rules

Global Consent (RMA/2023/1996) Works Affecting Trees on the Public Realm	<p>The Christchurch City Council applies (Restricted discretionary activity) for a global land use consent to undertake works affecting trees in the public realm.</p> <p>Specifically, the application for:</p> <p>The felling and associated earthworks of public-realm trees where they are over 10m in height (in parks/public open space, only where the appropriate delegated¹ authority has approved the removal of the trees).</p> <p>The relevant community board (delegated authority) is the Waitai Coastal-Burwood-Linwood Community Board.</p>
¹ being a Community Board or a Reserve Management Committee.	
CCC Tree Policy 1.9/1.11 Tree Replacement	<p>Where a tree has been removed, replacement plantings must occur and comply with CCC's Tree Policy, policies 1.9 (replacement) and 1.11 (location for removals outside the road corridor).</p> <p>The CCC Tree Policy 2021, Tree replacement outlines:</p> <p>Policy:</p> <p><i>1.9 For every tree removed a minimum of two new trees will be planted with the projected canopy cover replacing that which is lost within 20 years (additional planting may be required).</i></p> <p><i>1.11 For removals outside of the road corridor, the location of any replacement trees will be based on the following:</i></p> <p><i>(1) In the same reserve where the tree was removed; or</i></p> <p><i>(2) If no further planting in reserve is required, then in the closest road corridor or reserve that requires either new or additional planting; or</i></p> <p><i>(3) Within the Urban Forest.</i></p>

CCC Tree Policy & CCC CSS Part 7

	<p>The replacement plantings must occur and comply with section 1.9 of the Tree Policy wherever practicable, a replacement tree shall be planted, and replacement trees should be established to the standards set out in the Council Construction Standard Specifications Part 7.</p> <p>The replacement tree shall be located in an appropriate nearby location and be of the same or a complementary species.</p> <p>These trees shall be planted within the first planting season (April-October) following a code compliance certificate being issued for the units or as otherwise directed by the Park Arborist/Unit.</p>
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Purearb Limited Tree Consultants


Arboricultural Survey: Linwood Park

Individual Tree Data

Tree Survey & Mitigation plantings: *Pinus ponderosa* 124029

On-site Tree	CCC Tree ID:	124029	
	Protection Status	10 metres CCC Park	
	Tree species:	<i>Pinus ponderosa</i>	
Tree Constraints & Mitigation Plantings	Height Class	11 - 19 metres	
	Crown spread	14.5 metres	
	Canopy Projection mitigation requirements	Two 2m high trees of species considered suitable by the Council's Arborists	
Tree Conditions	Tree health	Fair (3)	
	Tree structure	Fair (3)	
	Overall condition	Fair (3)	
Comments:	Visible girdling (minor) root and surface roots have sustained outer cortex (bark) damage to exposed parts, reactive growth is present, and wound degradation was not evident. There is evidence of pruning wounds on the main (trunk) stem; injuries have either been encapsulated or partially occluded. The tree's form represents its relationship to its environment, influenced by the adjacent trees with a visible northerly lean. No notable biological conditions or biomechanical defects were evident at the time inspected.		

Tree Survey & Mitigation plantings: *Cupressus torulosa* 124030

On-site Tree	CCC Tree ID:	124030	
	Protection Status	10 metres CCC Park	
	Tree species:	<i>Cupressus torulosa</i>	
Tree Constraints & Mitigation Plantings	Height Class	11 - 19 metres	
	Crown spread	12.0 metres	
	Canopy Projection mitigation requirements	Two 2m high trees of species considered suitable by the Council's Arborists	
Tree Conditions	Tree health	Good (2)	
	Tree structure	Fair (3)	
	Overall condition	Fair (3)	
Comments:	There is evidence of pruning wounds on the main (trunk) stem; injuries have either encapsulated or partially occluded. The tree's form represents its relationship to its environment, influenced by the adjacent trees, creating an asymmetrical canopy. No notable biological conditions or biomechanical defects were evident at the time inspected.		


Arboricultural Survey: Linwood Park



Purearb Limited Tree Consultants


Tree Survey & Mitigation plantings: *Pinus nigra* 124031

On-site Tree	CCC Tree ID:	124031
	Protection Status	10 metres CCC Park
	Tree species:	<i>Pinus nigra</i>
Tree Constraints & Mitigation Plantings	Height Class	11 - 19 metres
	Crown spread	15.5 metres
	Canopy Projection mitigation requirements	Two 2m high trees of species considered suitable by the Council's Arborists
Tree Conditions	Tree health	Good (2)
	Tree structure	Fair (3)
	Overall condition	Fair (3)
Comments:	<p>Visible surface (structural) roots have sustained outer cortex (bark) damage to exposed parts, reactive growth is present, and wound degradation is not evident. There is evidence of pruning wounds on the main (trunk) stem; injuries have either encapsulated or partially occluded. The tree's form represents its relationship to its environment, influenced by the adjacent trees, creating an asymmetrical canopy. No notable biological conditions or biomechanical defects were evident at the time inspected.</p>	



Tree Survey & Mitigation plantings: *Populus alba* 119566

On-site Tree	CCC Tree ID:	119566
	Protection Status	10 metres CCC Park
	Tree species:	<i>Populus alba</i>
Tree Constraints & Mitigation Plantings	Height Class	20+ metres
	Crown spread	18.0 metres
	Canopy Projection mitigation requirements	Two 2m high trees of species considered suitable by the Council's Arborists
Tree Conditions	Tree health	Poor (4)
	Tree structure	Fair (3)
	Overall condition	Poor (4)
Comments:	Adventitious growth to the basal region, periodic pruning causing injuries, visible wound surface degradation. Multiple crown breaks at 4m-9m, primarily the bifurcations, have naturally formed, but several visible tight 'V-shaped' unions are evident. There is evidence of bark and cambium lesions, with several cankers near the wounds. Visible reduced canopy density to the upper canopy, with evidence of stem declines and necrosis material.	




Arboricultural Survey: Linwood Park



Purearb Limited Tree Consultants

Tree Survey & Mitigation plantings: *Pinus radiata* 113872

On-site Tree	CCC Tree ID:	113872	
	Protection Status	10 metres CCC Park	
	Tree species:	<i>Pinus radiata</i>	
Tree Constraints & Mitigation Plantings	Height Class	20+ metres	
	Crown spread	15.0 metres	
	Canopy Projection mitigation requirements	Two 2m high trees of species considered suitable by the Council's Arborists	
Tree Conditions	Tree health	Fair (3)	
	Tree structure	Poor (4)	
	Overall condition	Poor (4)	
Comments:	Visible girdling (significant) roots from the adjacent tree, potential constraints to the vascular system. The tree's form represents its relationship to its environment, influenced by the adjacent trees with a visible northeast lean. However, there is evidence of soil mounding to the leaning side and depression to the leeward side of the tree, indicative of a historical partial (root-plate) failure event. The main bifurcations and secondary branch unions have naturally formed. There is evidence of branch failure events on the upper scaffold.		

Tree Survey Overview



Arboricultural Survey Legend
 ● Tree Condition Rating: Good
 ● Tree Condition Rating: Fair
 ● Tree Condition Rating: Poor

Arboricultural Tree Condition Survey:
Linwood Park



Purearb Limited Tree Consultants

Original size mm
100
50
30
10
0



Podocarpus totara - Totara

Leptospermum scoparium - Manuka



PLAN
1:2000

BOTANICAL NAME	COMMON NAME	GRADE	QUANTITY	COMMENTS
<i>Leptospermum scoparium</i>	Manuka	1.5m	3	Staked Specimen Tree
<i>Podocarpus totara</i>	Totara	1.5m	7	Staked Specimen Tree

NOTE: Total trees to be removed is 5 trees with 10 replacement offset trees to be planted

- KEY
- EXISTING TREES TO REMAIN
 - EXISTING TREES TO BE REMOVED
 - PROPOSED TREES
 - PROPOSED CHANGING ROOMS



Linwood Park pavilion and toilet renewal

Briefing to Waitai Coastal-Burwood-Linwood Community Board
29th June 2023



Purpose of the briefing

- To present two building initiatives that support development of Linwood Park: renewal of public change facilities (funded by CCC) and building of new clubrooms (funded by the Linwood Keas)
- To brief the Community Board on the process for determining the recommended locations for the buildings
- To understand how the future renewal of skate facilities will be incorporated into the park
- To confirm the next steps

2

Process - Stakeholder Engagement

- All options have been through a thorough engagement process with Linwood Keas
- Keas representatives and Staff have collaborated with the designers to produce the proposed design solution
- CCC recreation and Sport Unit
- Other internal teams – e.g Community facilities
- Next step is Wider community consultation

3

Current facility

- Current condition of the building: not fit for purpose for future sporting activities
- Recently spent opex to keep it functional until new facility is built
- Scale
- Gender Neutral



4

Options considered



5

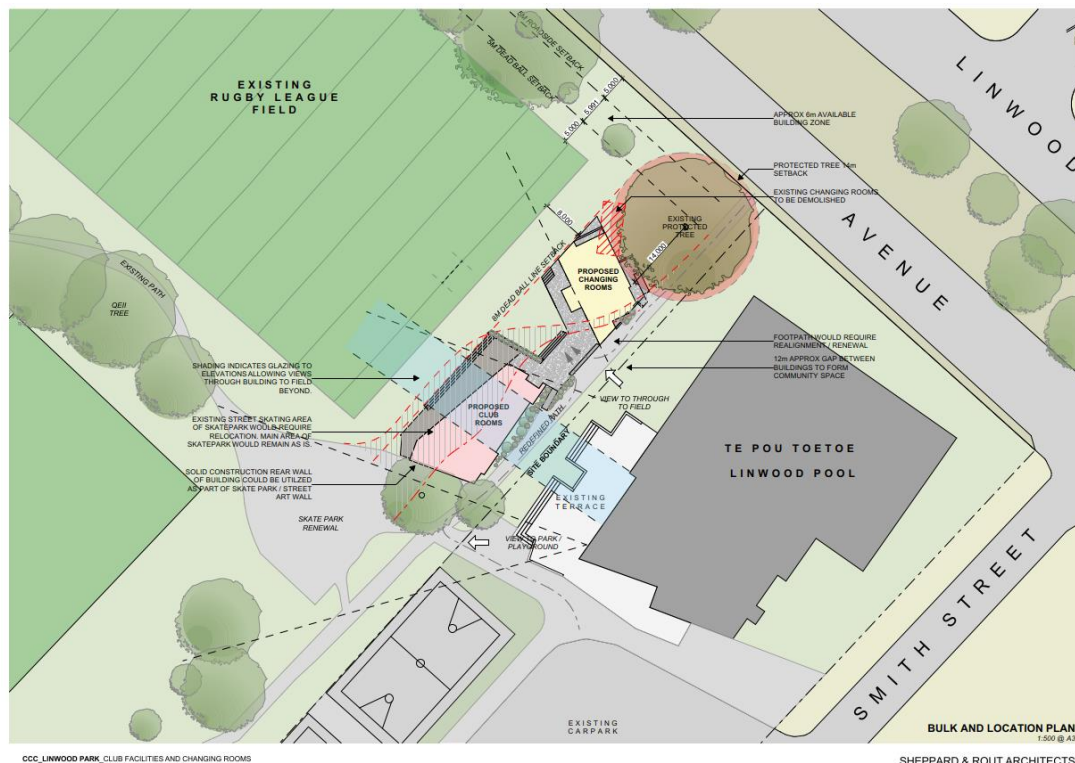
Current layout



Building location assessment 1

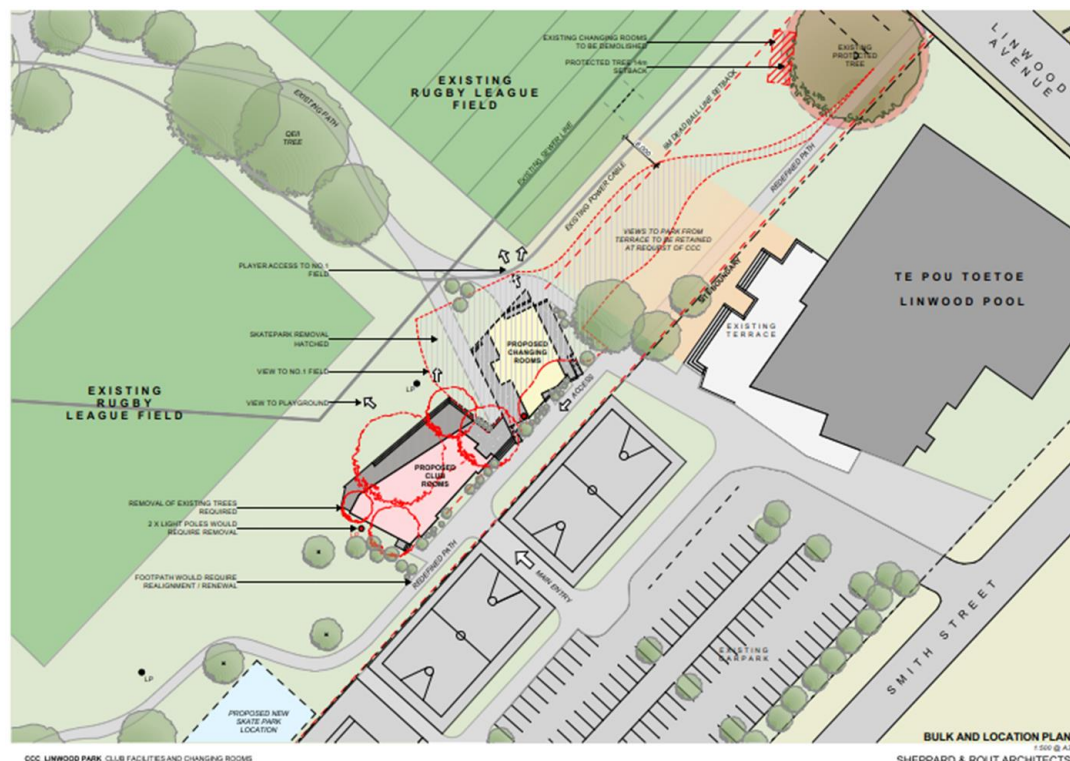
Existing location for the
Nest not viable for building
new changing rooms

Location of the proposed
clubrooms blocks the view
from the pool



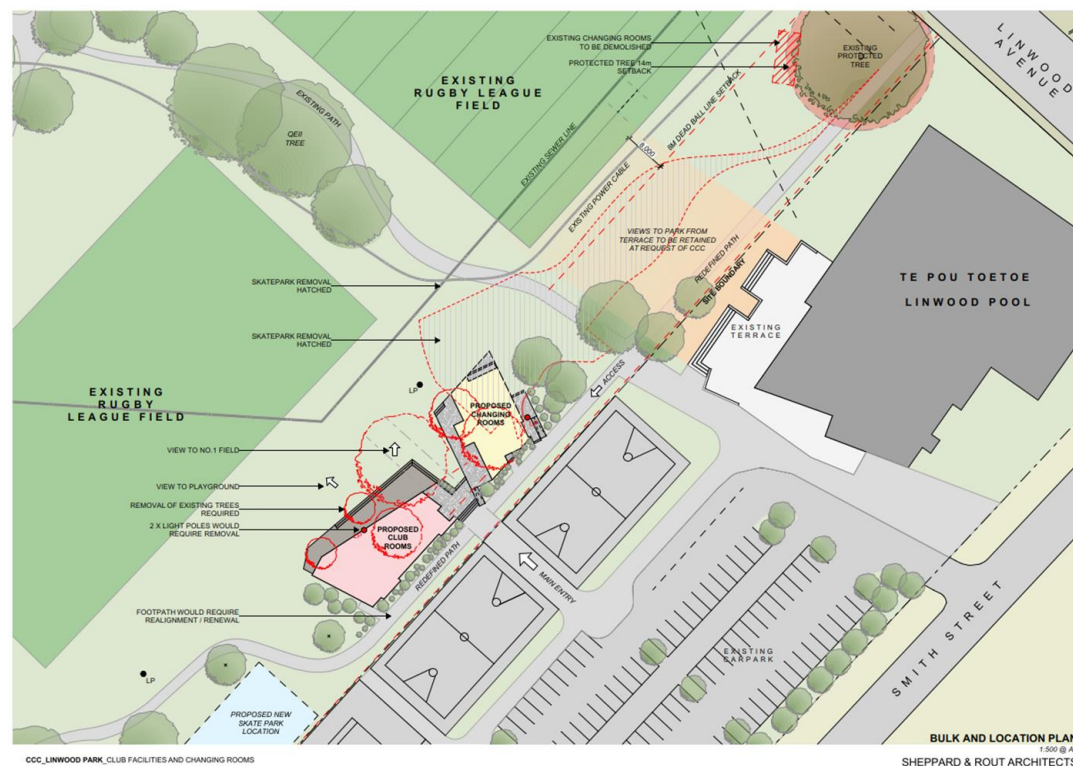
Building location assessment 3

Buildings too close
together (CPTED) and
not aligned with
existing pathways



Building location assessment 4

Better alignment of building with existing pathways but preference expressed by Keas for buildings to swap location



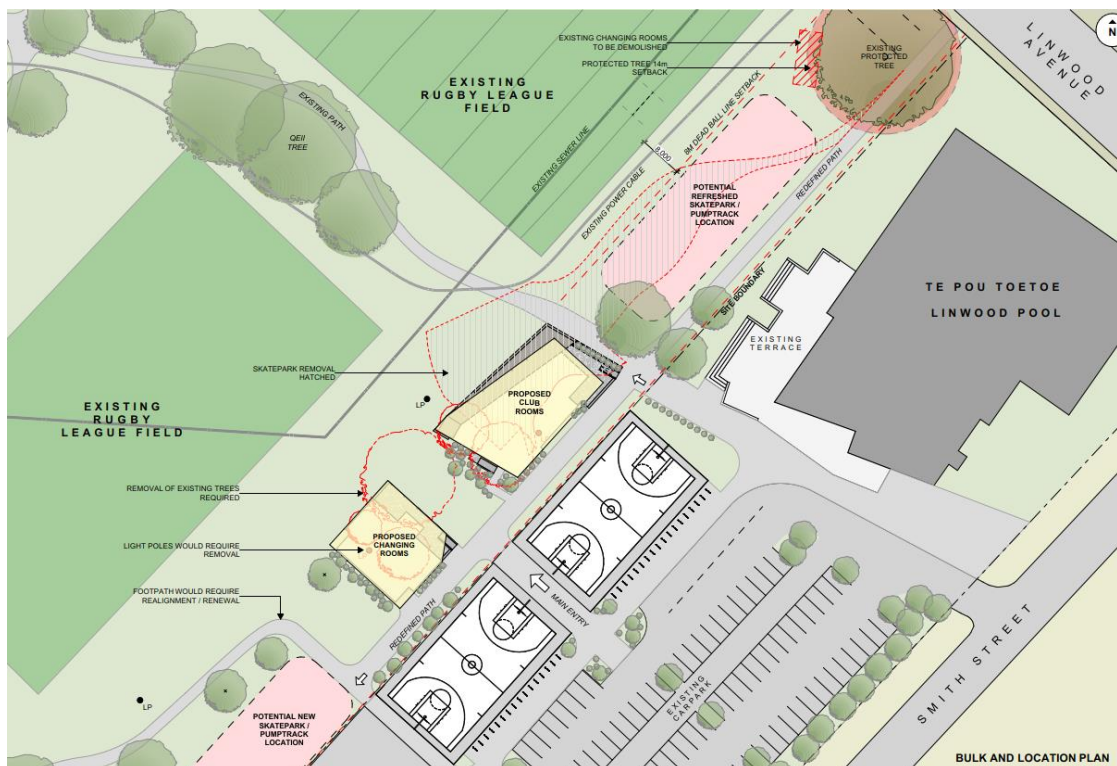
10

Current recommended building locations

Spacing between two buildings better for meeting CPTED requirements

Design of changing rooms optimised for internal layout

Good alignment for flow into the park and adjacent facilities

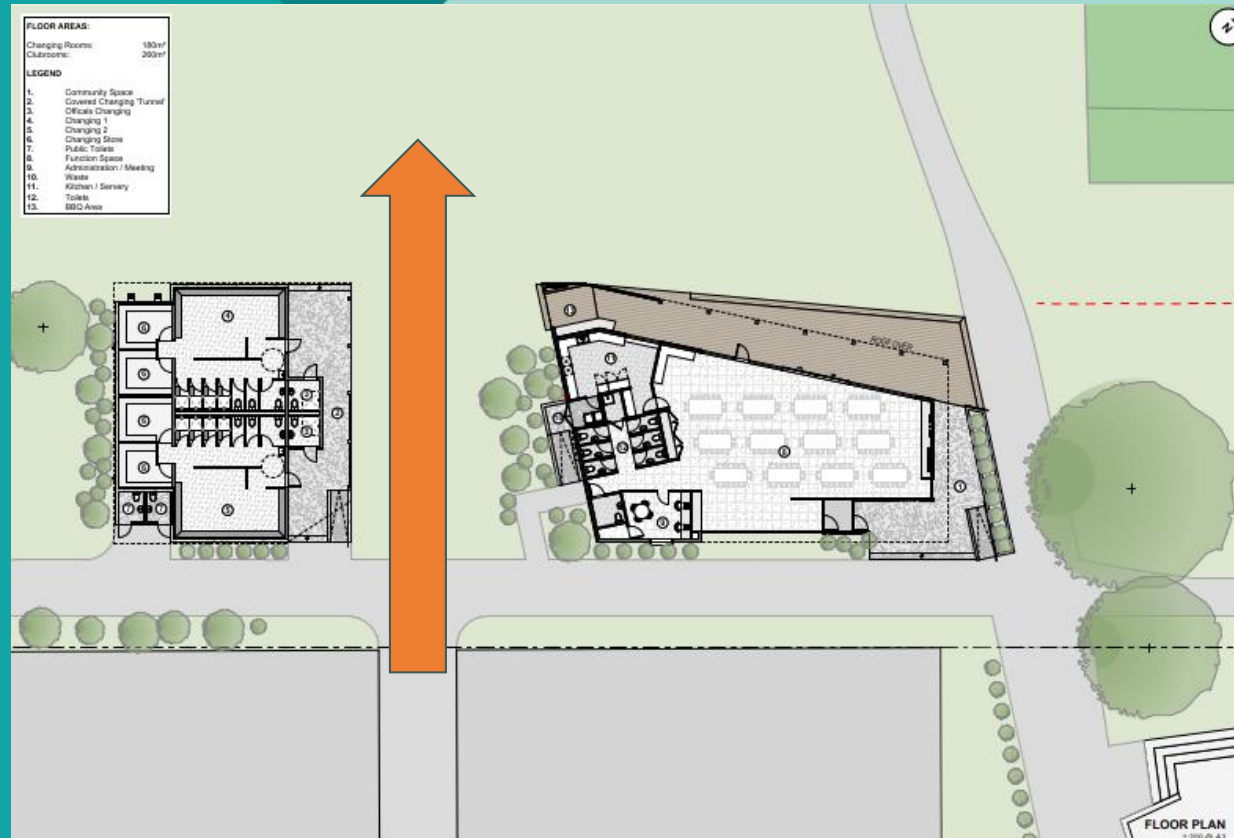


11

Item 10

Attachment D

Floor plan

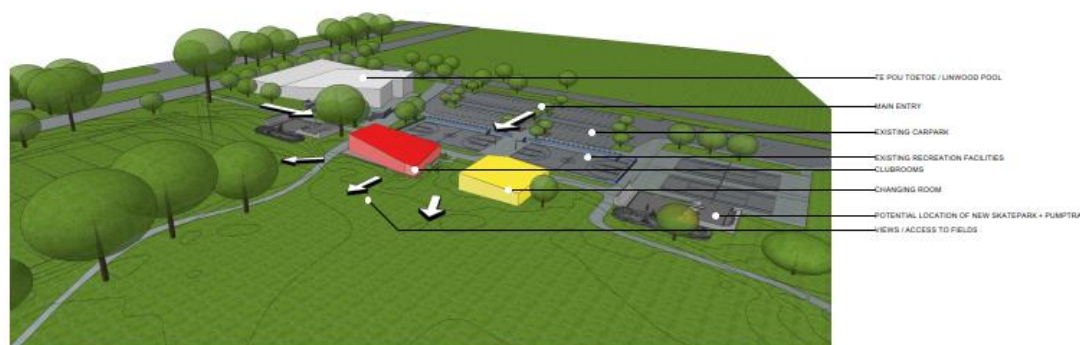


12

Plan view

Budget

- Council has funding in FY 24 to complete
- Change facility build QS estimate - \$1.2-1.4
- Budget to be confirmed prior to Community Board decision to proceed to build



Renders



14

Main consideration

Proposed location of clubrooms impacts the current skate park location which itself is due for renewal in FY26, so providing an opportunity to streamline both projects

The design for the renewal of the skate park can proceed once a decision has been made on the buildings

15



Next steps (FY24-25)

Buildings

Carry out public consultation

Community Board make decision on Park development

Depending on outcome of decision, move to detailed design and build the new assets

Next steps (FY24-25)

Other

- Initiate a formal lease proposal for the clubrooms, including public notification
- Work with stakeholders, the Community Board and the wider community to design and construct a skate park that is fit for purpose and meets the needs of the community
- Dovetail the above design and construction into the renewed changing rooms and proposed clubrooms, if approved
- Commence path renewal
- Complete restoration of the heritage gates
- Develop and implement a tree planting plan that meets the requirements of the Urban Forest Plan

17

Questions?

18

11. Leasing of 'red zoned' former driveways on Rocking Horse Road to adjacent neighbours

Reference / Te Tohutoro: 24/416447

Report of / Te Pou Dave Little, Residential Red Zone Manager

Matua: Angus Smith, Manager Property Consultancy

Senior Manager /
Pouwhakarae: Andrew Rutledge, Acting General Manager Citizens and Community

1. Purpose and Origin of Report Te Pūtake Pūrongo

- 1.1 This report's purpose is to seek approval to enter into long-term lease arrangements with immediate neighbours who border the numerous former driveways leading into the 'residential red zone' land on Rocking Horse Road.
- 1.2 The report has been initiated by staff to progress the landscape outcomes consulted for the Southshore 'red zone' area by way of the Estuary Edge Protection project.
- 1.3 The decision in this report is of medium significance in relation to the Christchurch City Council's Significance and Engagement Policy. The level of significance was determined by the low level of impacts on the surrounding community, heightened somewhat by the interest generally in Southshore Red Zone land.

2. Officer Recommendations Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approve the leasing of the redundant driveways on the western side of Rocking Horse Road from Godwit Street to Mermaid Place as shown on the attached Southshore and South New Brighton Estuary Edge Flood Mitigation landscape plans to the agenda report.
2. The principal terms and conditions of the leases to be generally as follows:
 - i. The term is fixed at 35 years less one day.
 - ii. The rent is peppercorn i.e. one dollar.
 - iii. The lessees will be responsible for all works e.g. fencing, maintenance etc.
 - iv. Rights to this land will not be permitted to be included in any redevelopment or intensification applications or proposals.
 - v. Only adjoining owners will be permitted a lease for inclusion in their property i.e. non adjoining owners will not be leased land for off street parking.
 - vi. There shall be no right of assignment or subletting other than in conjunction with the sale of the "parent" property.
 - vii. Buildings will not be permitted on the leased property.
3. Delegate authority to the Manager Property Consultancy to do all things and make any decisions necessary at his sole discretion to implement the above resolution.

3. Reason for Report Recommendations Ngā Take mō te Whakatau

- 3.1 Council currently own (or part own) some 28 driveway accesses leading to the estuary edge 'red zone' land at Southshore, in addition to seven road ends leading into the space. Some of these access points span multiple titles.
- 3.2 This is not desirable from a Parks perspective, as each driveway comes with management costs, and some users feel unsafe due to their narrow widths and the hiding spots at each end. This reduces their actual usage.
- 3.3 Staff have considered these pieces of land against the assessment criteria adopted by the Council on 10 December 2021, used to establish whether a property is no longer required:
 - 3.3.1 *Is the full property still required for the purpose for which it was originally acquired?*
 - 3.3.2 *Does the property have special cultural, heritage or environmental values that can only be protected through public ownership?*
 - 3.3.3 *Is there an immediately identified alternative public use/work/activity in a policy, plan or strategy?*
 - 3.3.4 *Are there any strategic, non-service delivery needs that the property meets and that can only be met through public ownership?*
 - 3.3.5 *Are there any identified unmet needs, that we might normally address, that the property could be used to solve? And is there a reasonable pathway to funding the unmet need?*
- 3.4 Retention against this criteria cannot be supported.
- 3.5 Disposal by way of transfer (i.e. sale and purchase) does not appear practical or feasible, as resurvey would be required for each and the cost would be disproportionate. It is also considered that the Council selling land in an area under Coastal Hazard Adaption Planning (CHAP) considerations is not sensible.
- 3.6 Under the circumstances, staff consider that the best divestment mechanism is to enter into long-term lease arrangements with the adjacent neighbours of these parcels, removing them from public management and use.

4. Alternative Options Considered Ētahi atu Kōwhiringa

- 4.1 Continue the status quo, leaving all driveways open in their current configuration.

Advantages:

- Multiple public accesses remain.

Disadvantages:

- Ongoing OPEX costs of maintaining the accesses, clearing graffiti/rubbish and responding to customer tickets. Ongoing cost sharing expenses related to fencing, driveway surfacing and the like.
- Continuing dissatisfaction from residents as to the appearance of these spaces.
- There are potential health and safety issues with too many access points onto the road, areas of seclusion, stretched resources for appropriate development and maintenance.

- 4.2 Sell the driveways in question to the neighbours.

Advantages:

- No ongoing ownership of the land, optimal permanent model.

Disadvantages:

- The value of the land means that survey and legal costs could outweigh any revenue and be cost prohibitive for either the council or the adjoining owners.
- Permanently divesting land by way of sale in an area that is under consideration with respect of Coastal Hazard Adaptation Planning (CHAP).

5. Detail Te Whakamahuki

- 5.1 Potential divestment of these driveways to neighbours was publicly consulted as part of the Southshore/South New Brighton Estuary Edge project, generally seen as a sensible solution (refer Section 6). This approach was also canvassed with the Southshore Residents' Association and the Community Board during project updates, and was not opposed.
- 5.2 As a result, consideration was given to including them in the draft Long Term Plan for consultation under the section "*Potential Disposal of Council-owned Properties*". This was not progressed however, for the following reasons:
- 5.2.1 The value commensurate to the cost (survey/legal fees) would be disproportionate.
- 5.2.2 Permanently disposing of land likely to be subject to future CHAP considerations is not sensible.
- 5.3 To mitigate these concerns, staff consider that long-term leases present the optimal solution.
- 5.4 Under this approach, the owners to either side of each driveway would be contacted to see if they have an interest. If one has an interest, they could take the entire driveway on as a lease and extend their fence. If both had an interest, each could have half and a fence down the middle would need to be constructed by the parties.
- 5.5 The relevant Estuary Edge Mitigation Landscape Plans are included as **Attachment A**, showing the driveways in yellow/red hatch. A table listing the properties is also included below.

	Street Address	Legal Description
1/134A	Rocking Horse Road	Lot 2 DP 40820
2/134A	Rocking Horse Road	
1/146A	Rocking Horse Road	Lot 23 DP 19427
2/146A	Rocking Horse Road	
1/162A	Rocking Horse Road	Lot 2 DP 25957
2/162A	Rocking Horse Road	
124A	Rocking Horse Road	Lot 1 DP 27447
128A	Rocking Horse Road	Lot 3 DP 33062
132A	Rocking Horse Road	Lot 2 DP 28790
132C	Rocking Horse Road	Lot 1 DP 58641
140	Rocking Horse Road	Lot 3 DP 51138
140A	Rocking Horse Road	Lot 2 DP 51138
142A	Rocking Horse Road	Lot 2 DP 37187
144A	Rocking Horse Road	Lot 2 DP 21048
148A	Rocking Horse Road	Lot 2 DP 19246
170	Rocking Horse Road	Lot 4 DP 75827
188E	Rocking Horse Road	Area A DP 466378
2	Penguin St North - Former 94A Rocking Horse	Area D DP 557654

2	Penguin St North - Former 96A Rocking Horse	Area E DP 557654
2	Penguin St North - Former 96B Rocking Horse	Area F DP 557654
2	Penguin St South - Former 104A Rocking Horse	Area I DP 557654
2	Penguin St South - Former 106A Rocking Horse	Area J DP 557654
3	Kingfisher Lane	Lot 3 DP 37149
32A	Rocking Horse Road	Lot 6 DP 16205
34A	Rocking Horse Road	Lot 7 DP 16205
36A	Rocking Horse Road	Lot 11 DP 16205
36B	Rocking Horse Road	Lot 10 DP 16205
44A	Rocking Horse Road	Lot 18 DP 16205
46A	Rocking Horse Road	Lot 19 DP 16205
46B	Rocking Horse Road	Lot 20 DP 16205
5	Kingfisher Lane	Lot 4 DP 37149
62A	Rocking Horse Road	Lot 2 DP 24125
62B	Rocking Horse Road	Lot 3 DP 24125
62C	Rocking Horse Road	Lot 4 DP 24125
66B	Rocking Horse Road	Lot 1 DP 557587
66C	Rocking Horse Road	Lot 2 DP 51260
7	Kingfisher Lane	Lot 5 DP 37149
80A	Rocking Horse Road	Lot 2 DP 17112
82A	Rocking Horse Road	Lot 1 DP 36785
88A	Rocking Horse Road	Lot 2 DP 21691

Table 1: List of proposed driveways for leasing.

- 5.6 Any lease would extend to the point where the 'park land' widens to the estuary, as shown in **Attachment A** and the example below.



Figure 1: Typical former driveway area recommended for long term lease (purple hatch).

- 5.7 **Proposed lease terms and conditions.** In the context that a lease proposal benefits the Council, and under the circumstance that this is the most optimal form of divestment (albeit not creating a perfect ownership model), the following terms and conditions are proposed:
- 5.7.1 The term is fixed at 35 years less one day. This is set to avoid triggering subdivision requirements under clause 218 of the Resource Management Act (1991).
 - 5.7.2 The rent is peppercorn i.e. one dollar.
 - 5.7.3 The lessees will be responsible for all works e.g. fencing, maintenance etc.
 - 5.7.4 Rights to this land will not be permitted to be included in any redevelopment or intensification applications or proposals.
 - 5.7.5 Only adjoining owners will be permitted a lease for inclusion in their property i.e. non adjoining owners will not be leased land for off street parking.
 - 5.7.6 There shall be no right of assignment or subletting other than in conjunction with the sale of the “parent” property.
 - 5.7.7 Buildings will not be permitted on the leased property.

6. Community Views and Preferences Ngā mariu ā-Hāpori

Public Consultation Te Tukanga Kōrerorero

- 6.1 The draft landscape plans (with the potential driveway closures shown) were tabled during the Estuary Edge project consultation period which ran from 13-27 June 2023, supported by a drop in day at The Bridge on 17 June 2023. A specific question around the idea of closing off some of the driveways was included in the consultation questions, and responses to this are shown in the table below.

Individual / Group	Have we got the balance right (related to potential driveway disposals)
Individual	Yes, but I would like to know if <i>(unrelated)</i>
Individual	Please consider keeping two.
Individual	I think one accessway per block is reasonable. What happens to the ones that are earmarked to be 'sold off', what happens to them - offered via auction, that has to be thought through, really it needs to be logically done by people who live around... if its a RoW then that creates easement issues? If no one wants them, what then?
Individual	Request to incorporate low flammability planting & Firefighting access.
Group (SSRA)	SSRA agree with the offering of the option to purchase by adjacent residents. Ensuring enough access points for recreation is important to our community. Can the funds from the sale of the old driveway be reinvested back into the project? Can you please provide the SSRA with an update on how the sales are progressing. What will happen to driveways that adjacent residents don't want to purchase?
Individual	I'm happy with one midpoint access
Individual	I support removing most of the entrances from old driveways.
Individual	Agree
Group (Spokes)	Spokes supports...obvious access ways with good signage onto Godwit, Heron, Penguin and Tern Streets
Individual	Makes sense
Individual	It appears to be so, from my living on the spit for 40 years, but please be guided by locals living right next to the entranceways.

Individual	Yes makes sense to sell these off.
Individual	Yes I think so.
Individual	Yes definitely. Allows for enhancement of estuary edge, some long term protection, as well as providing for walkers, runners and cyclists. Hopefully this will also provide a safer environment for the threatened birdlife of the estuary.
Individual	Yes. Balance looks good. Good mix of flood protection, walkway/cycleway and new plantings.
Individual	The balance looks good but I hope it isn't too ambitious re cost to plant and maintain. Better to concentrate new property boundary planting into smaller manageable areas and leave any that look good. It is naive to expect locals to maintain public gardens. Some of us do a lot of it but we are in the minority.
Individual	Would prefer more entrances. Sometimes there is an urgent need to get to the street - eg in case of emergency. Not all of us can run.
Individual	Perhaps consider two accessways between blocks.
Individual	Yes. Great to see we are finally getting flood protection
Individual	From my perspective, a more cost- effective way is to just do the costal erosion/flooding mitigation bund/swales/rain guards upgrades with the estuary edge accesses & leave everything else alone. There is no need for the proposed extra 3m wide path from Bridge Street to Ebbtide/Caspian Streets as there are already paths there that people walk & cycle along. There is no need for the 3m wide path from Ebbtide/Caspian Streets to Stilt Lane/Pukeko Place as people can already walk okay on the current ground & cycle or walk along Rocking Horse Road. (I find there isn't much traffic in South Brighton & along Rocking Horse Road in Southshore, so it's safe to cycle there.)
Individual	Yes the amount of entrances are ok
Individual	Great idea. The one beside us (66 Rocking Horse Road) is an eyesore, and I have been maintaining it for years. We have emailed our interest in purchasing it for the past few years. Great to see we may finally have the opportunity to purchase it!! It is a real waste of space having them just sitting there, although I understand the process!!
Individual	I would think this to be okay
Individual	Between 34 and 40 Rockinghorse Rd there are 3 access/entrances to the red zone. One is the diversion track, one is access to the Pumping station and one is obsolete. Is the lane by 36 (to the pump) remaining open or will it be put up for sale?
Individual	Yes
Individual	Yes. Even just the side streets are fine? keeping crime lower.
Individual	Yes
Individual	Yes
Individual	Get on with it.
Individual	Yes that looks like the right balance
Individual	We like the general ideas in the overall plan. Rising sea levels are our concern therefore protecting the estuary edge is our priority.
Individual	Looks good
Individual	Yes
Individual	Yes
Individual	Yes

Individual	Āe
Individual	Maybe more than one
Individual	Yes
Individual	Absolutely
Individual	Where a house have an empty "driveway" both sides and have had to deal with them for so long, would be nice if they had both closed off. Other than for access to Mowing or for Pumps etc seems to block/close of all would be desirable. More like when we had homes that they went to, we didn't walk up peoples driveways then.

Table 2: Public feedback (verbatim, not all is completely driveway related). Individual names removed.

7. Policy Framework Implications Ngā Hīraunga ā- Kaupapa here

Strategic Alignment Te Rautaki Tīaroaro

7.1 Manage ratepayers' money wisely

- Manage ratepayers' money wisely, delivering quality core services to the whole community and addressing the issues that are important to our residents.

Policy Consistency Te Whai Kaupapa here

7.2 The decision is consistent with Council's Plans and Policies:

- 7.2.1 The Council's "Leasing Council Property Policy" adopted in December 2015 provides that: *"Where the Council recognises there is only one logical lessee for a public property, the Council will unilaterally deal with that lessee"* This is clearly the case in this instance.

Impact on Mana Whenua Ngā Whai Take Mana Whenua

- 7.3 The decision does not involve a significant decision in relation to ancestral land or a body of water or other elements of intrinsic value, therefore this decision does specifically impact Mana Whenua, their culture and traditions.
- 7.4 The decision does not involve a matter of interest to Mana Whenua and will not impact on our agreed partnership priorities with Ngā Papatipu Rūnanga.
- 7.5 The landscape plans were developed in a partnership with the Ihutai Ahuwhenua Trust, who were mandated to provide mana whenua input on the project by Mahaanui Kurataiao. They did not have any concerns regarding this matter.

Climate Change Impact Considerations Ngā Whai Whakaaro mā te Āhuarangi

7.1 The decisions in this report are likely to:

- 7.1.1 Remain flexible with respect to climate change adaptation, by retaining the land in public ownership.
- 7.1.2 Have a neutral influence on carbon sequestration. Lessees may choose to replace the current gravel and grass with planting, but we cannot influence that.

Accessibility Considerations Ngā Whai Whakaaro mā te Hunga Hauā

- 7.2 While closure of these accesses will somewhat reduce current access into the 'park' space, the landscape plans have retained a total of five mid-block access points, meaning that the maximum distance from anywhere on Rocking Horse Road to an entry point is around 150m. Access is provided at seven road end locations, as well as the carpark at the southern end of Estuary Road.

- 7.3 The combined extent of the remaining entries and road end points is well in excess of typical park access provisions.

8. Resource Implications Ngā Hīraunga Rauemi

Capex/Opex Ngā Utu Whakahaere

- 8.1 As these would be leases rather than divestment, there are no CAPEX costs to this proposal.
- 8.2 There will be a saving to maintenance/renewal costs, as Council will be maintaining fewer access points, and there will be a reduced need to contribute jointly to fences, driveway surfacing and the like. There should also be a reduction in flytipping cleanup costs.
- 8.3 No funding source is required.

9. Legal Implications Ngā Hīraunga ā-Ture

Statutory power to undertake proposals in the report Te Manatū Whakahaere Kaupapa

- 9.1 The Council is required to evaluate several statutory considerations:

9.1.1 Local Government Act Considerations

- **Section 138** Local Government Act 2002

Section 138 provides that “park” owned by the Council cannot be sold or otherwise disposed of unless the Council has first consulted on the proposed disposal. This includes leases in excess of six months. The land that is the subject of this report would be considered to be “park” under this statute.

- **Section 78 - 82** Local Government Act 2002

These sections set out the council’s requirements in terms of decision making in summary that:

- All reasonably practicable options for the achievement of the objective of a decision.
- Consideration is given to the views and preferences of persons likely to be affected by, or to have an interest in, the matter.
- Judgements are required about how to achieve compliance with these issues. Those judgements in determining degree and scope are largely in proportion to the significance of the matters affected by the decision.
- Decisions inconsistent with council policy are identified and rationalised.
- Opportunities are provided for Māori to contribute to the decision-making processes.
- That any consultation is fit for purpose and at the Council’s discretion appropriate in any particular instance.

It is considered that the Estuary Edge consultation undertaken in June 2023 set out the principles proposed in this report (i.e. disposal of the driveways, albeit by sale rather than lease), and that this satisfies the above statutory requirements having provided reasonable opportunity to comment on the future use of the driveways and solicited general support with no opposition.

9.1.2 Section 40 Public Works Act 1981

Section 40 requires that where land is held by the Council for a public work and it is no longer required for that public work, or any other public work, then, subject to certain exceptions, the land must be “offered back” at market value to the person from whom it was acquired, or their successor. This is not applicable in this instance with the land being transferred to the council by the Crown under the Global Settlement Agreement.

- 9.2 The Council has delegated to Community Boards the responsibility and powers “*To grant leases or licences for a maximum term of 35 years to any person or body over parks, and to authorise staff to sign all required documentation.*”

Other Legal Implications Ētahi atu Hīraunga-ā-Ture

- 9.3 This report has not been reviewed and approved by the Legal Services Unit although legal advice will be provided in the preparation of the lease documents which will reflect the terms and conditions set out in this report.


10. Risk Management Implications Ngā Hīraunga Tūraru

- 10.1 This initiative seeks to mitigate health and safety risks by reducing multiple access points onto the street.

11. Next Steps Ngā Mahinga ā-muri

- 11.1 Adjoining owners will be contacted and provided the opportunity to enter into leases.

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A 	Southshore Estuary Edge and Flood Mitigation Landscape Drawings (showing potential driveway lease locations)	24/420413	83

In addition to the attached documents, the following background information is available:

Document Name – Location / File Link
Not applicable

Confirmation of Statutory Compliance Te Whakatūtutanga ā-Ture

Compliance with Statutory Decision-making Requirements (ss 76 - 81 Local Government Act 2002).

(a) This report contains:

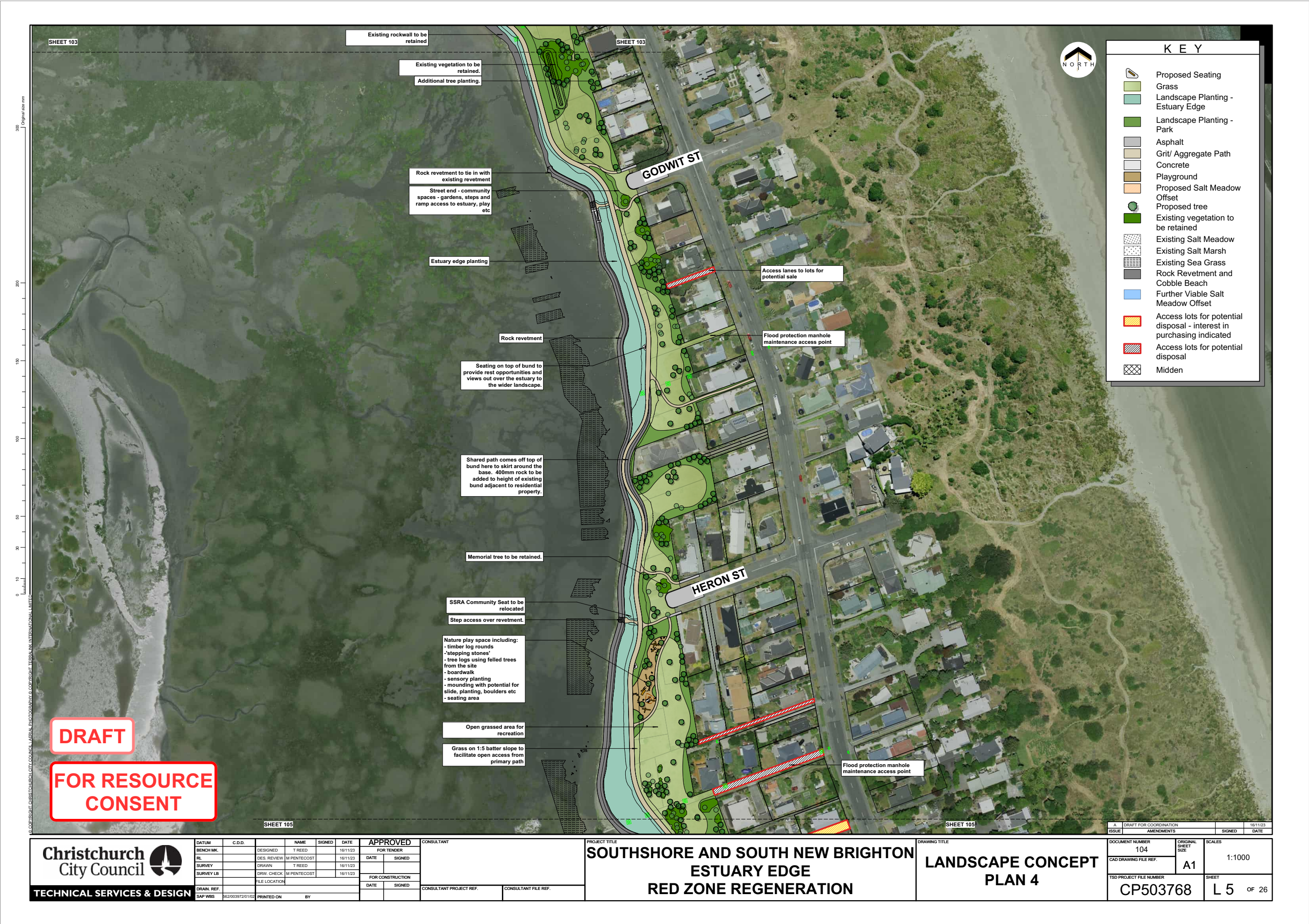
- (i) sufficient information about all reasonably practicable options identified and assessed in terms of their advantages and disadvantages; and
- (ii) adequate consideration of the views and preferences of affected and interested persons bearing in mind any proposed or previous community engagement.

(b) The information reflects the level of significance of the matters covered by the report, as determined in accordance with the Council's significance and engagement policy.

Signatories Ngā Kaiwaitohu

Authors	David Little - Manager Residential Red Zone Angus Smith - Manager Property Consultancy
Approved By	Rupert Bool - Acting Head of Parks











12. Linwood and Woolston Christchurch Regeneration Acceleration Facility (CRAF) programme confirmation

Reference / Te Tohutoro: 24/356390

Report of / Te Pou Matua: Kelly Griffiths, Senior Project Manager, Transport and Waste Management

Senior Manager / Pouwhakarae: Jane Parfitt, Interim General Manager Infrastructure, Planning and Regulatory Services

1. Purpose and Origin of Report Te Pūtake Pūrongo

- 1.1 The purpose of this report is for the Waitai Coastal-Burwood-Linwood Community Board to approve the updated list of prioritised projects to be included in the Linwood and Woolston Christchurch Regeneration Acceleration Facility (CRAF) programme.
- 1.2 The origin of this report is in response to a request from the Board for a decision report at the 29 February 2024 public briefing.
- 1.3 The decision in this report is of low significance in relation to the Christchurch City Council's Significance and Engagement Policy. The level of significance was determined by the low number of affected parties, and the extent and impact of the work proposed.

2. Officer Recommendations Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approves the following Christchurch Regeneration Acceleration Facility (CRAF) projects to remain in the Linwood and Woolston CRAF programme:
 - a. The construction of the Linwood Avenue School slip lane upgrade project.
 - b. The construction of the Rhona Street pedestrian improvements project.
 - c. The construction of the Smith Street cycle and pedestrian improvements project.
 - d. The construction of the Worcester Street restoration project.
 - e. The construction of the Tilford Street footpath improvements project.
 - f. The investigation of the Chelsea Street restoration project, to be considered for construction.
 - g. The investigation of the Butterfield Avenue restoration project, to be considered for construction.
2. Approves the removal of the delivery of the following projects in the Christchurch Regeneration Acceleration Facility (CRAF) projects from the Linwood and Woolston CRAF programme:
 - h. The Wyon Street and Hulbert Street renewal projects.
 - i. The Linwood and Woolston area-wide speed restriction project.
 - j. The Te Aratai College pedestrian and cycle access project.
3. Notes that this decision supersedes the previously approved Linwood and Woolston CRAF programme on 13 April 2022 by the Waikura Linwood-Central-Heathcote Community Board, documented in the decision report 22/209652.

3. Reason for Report Recommendations Ngā Take mō te Whakatau

- 3.1 The Officer recommendations have been made following feedback from the Waitai Coastal-Burwood-Linwood Community Board at the public briefing on 29 February 2024, where the Board indicated which prioritised projects to include in the updated Linwood and Woolston CRAF programme.

4. Alternative Options Considered Ētahi atu Kōwhiringa

- 4.1 At the 29 February 2024 briefing, the Board were presented the scope, current status and updated cost estimates (Attachment A) for the ten projects previously approved in the Linwood and Woolston CRAF programme, and asked to prioritise the projects to be delivered within the \$6.5 million Linwood and Woolston CRAF budget.

5. Detail Te Whakamahuki

Original approval of Linwood and Woolston CRAF programme

- 5.1 On 13 April 2022 the Waikura Linwood-Central-Heathcote Community Board approved the following ten projects to be included in the Linwood and Woolston CRAF programme:
- 5.1.1 A redesign of the Linwood Avenue School slip lane (now called the Linwood Avenue School slip lane upgrade project).
 - 5.1.2 A new pedestrian and cycle path along Aldwins Road providing access to Te Aratai College (now called the Te Aratai College pedestrian and cycle access project).
 - 5.1.3 An area-wide speed restriction covering Linwood, Woolston and Bromley (now called the Linwood and Woolston area-wide speed restriction project).
 - 5.1.4 Traffic calming along the length of Smith Street, including cycle delineation and a pedestrian island leading to Te Pou Toetoe: Linwood Pool (now called the Smith Street cycle and pedestrian improvements project).
 - 5.1.5 A new footpath and turning head on Rhona Street at Te Pā o Rākaihautū School (now called the Rhona Street pedestrian improvements project).
 - 5.1.6 Footpath resurfacing on Tilford Street from Ferry Road to Gala Lane (now called the Tilford Street footpath improvements project).
 - 5.1.7 The rebuild of Wyon Street from Buckleys Road to Worcester Street, and the rebuild of the whole length of Hulbert Street (now called the Wyon Street and Hulbert Street renewal project).
 - 5.1.8 The rebuild of Chelsea Street from Russell Street to Pamela Street, and repair of Chelsea Street from Linwood Avenue to Russell Street (now called the Chelsea Street renewal project).
 - 5.1.9 The restoration of Butterfield Avenue from Buckleys Road to Hay Street
 - 5.1.10 The restoration of Worcester Street from Linwood Avenue to McLean Street
- 5.2 Since the Linwood and Woolston CRAF programme was approved, there has been a significant increase in construction costs, and the ten approved projects are not able to be delivered for the \$6.5 million Linwood and Woolston CRAF budget.

Climate Emergency Response Fund (CERF)

- 5.3 Early in 2023, four projects from the programme were identified to be delivered by the Climate Emergency Response Fund (CERF), these projects were:
- 5.3.1 The Rhona Street pedestrian improvements project
 - 5.3.2 The Smith Street cycle and pedestrian improvements project
 - 5.3.3 The Linwood and Woolston area-wide speed restriction project
 - 5.3.4 The Te Aratai College pedestrian and cycle access project
- 5.4 The four projects were schemed, consulted on, and approved for detailed design and construction under Council's CERF approvals in September 2023.
- 5.5 In December 2023 the Minister of Transport advised Council the CERF funding was no longer available for the four projects.

Current state

- 5.6 Linwood and Woolston area-wide speed restriction
- 5.6.1 The delivery of the Linwood and Woolston area-wide speed restriction can now be funded from the Safe Speed Neighbourhoods programme, therefore it does not need to be returned for consideration in the Linwood and Woolston CRAF programme – this project is currently being constructed.
- 5.7 Rhona and Smith Street projects and Te Aratai College
- 5.7.1 The Finance and Performance Committee approved the following at their 28 February 2024 meeting:
 - The Rhona Street pedestrian improvements and Smith Street cycle and pedestrian improvements projects were to be considered by the Waitai Coastal-Burwood-Linwood Community Board for delivery in the Linwood and Woolston CRAF programme.
 - The Te Aratai College pedestrian and cycle access project is proposed to be funded independently in a future Long Term Plan, therefore it can be removed for consideration in the Linwood and Woolston CRAF programme.
- 5.8 Linwood Ave Slip Lane
- 5.8.1 The Linwood Avenue School slip lane upgrade project was consulted on and approved to be delivered in the Linwood and Woolston CRAF programme, by the Waitai Coastal-Burwood-Linwood Board on 11 September 2023.
 - 5.8.2 At the 29 February 2024 public briefing, the Board advised the Linwood Avenue Slip Lane project would remain in the CRAF programme, as this has always been a CRAF project, and was approved by the Board to be included in the CRAF programme.
 - 5.8.3 There is the expectation from the Linwood Avenue School that it will be constructed in the April 2024 school holidays. The contractor has programmed the work to take place in April and is awaiting tender acceptance, and delaying this process is likely to incur additional cost.
 - 5.8.4 Based upon this advice provided by the Board, staff intend to award the contract and proceed with construction starting on 15 April, as a project funded from the Linwood and Woolston CRAF programme. The Board were advised of this by memo on Friday 15 March 2024.

5.9 Worcester Street and Tilford Street

5.9.1 The Worcester Street restoration and Tilford Street footpath improvements projects are near being ready for delivery. These projects do not require public consultation or Community Board approval and could be delivered in the coming months.

5.10 Chelsea Street and Butterfield Avenue

5.10.1 Limited work has been completed on the Chelsea Street renewal and Butterfield Avenue restoration projects, as staff have been waiting for a decision from the Board on whether to continue with these projects.

5.10.2 Based on advice from the Board at the 29 February 2024 public briefing, the schemes for the Chelsea Street and Butterfield projects are to be brought back to the Board once the cost estimates are known, for a decision on which project can be delivered within the Linwood and Woolston CRAF budget.

5.11 Wyon and Hulbert street renewal

5.11.1 The scheme options for the Wyon Street and Hulbert Street renewal project have been completed, and the \$6.5 million cost estimate for the street renewal is significantly over the project budget. The factors contributing to the estimate include the presence of coal tar, protecting the existing culvert and significant drainage requirements. Multiple options have been considered but none are able to be delivered within the project budget.

5.11.2 Public consultation on Wyon and Hulbert Streets has not taken place.

Public briefing and decision required

5.12 The above information was presented to the Waitai Coastal-Burwood-Linwood Community Board at the 29 February 2024 public briefing. The prioritisation of the ten projects was discussed in relation to not being able to deliver all projects for the \$6.5 million Linwood and Woolston CRAF budget.

5.13 The Board gave the direction to bring back a decision report which includes the following:

Approves the following Christchurch Regeneration Acceleration Facility (CRAF) projects to remain in the Linwood and Woolston CRAF programme:

1. The construction of the Linwood Avenue School slip lane upgrade project, to be delivered in the April 2024 school holidays.
2. The construction of the Rhona Street pedestrian improvements project. This project was approved under CERF and as per the Finance and Performance resolution is now to be considered for delivery in the Linwood and Woolston CRAF programme. This project can be delivered in the near future.
3. The construction of the Smith Street cycle and pedestrian improvements project. This project was approved under CERF and as per the Finance and Performance resolution is now to be considered for delivery in the Linwood and Woolston CRAF programme. This project can be delivered in the near future.
4. The construction of the Worcester Street restoration project, which can be delivered in the near future.
5. The construction of the Tilford Street footpath improvements project, which can be delivered in the near future.
6. The investigation of the Chelsea Street and Butterfield Avenue restoration projects, to be considered for construction. The schemes are to be brought back

to the Board once the cost estimates are known, for a decision on which project can be delivered within the Linwood and Woolston CRAF budget.

Approves the removal of the delivery of the following projects in the Christchurch Regeneration Acceleration Facility (CRAF) projects from the Linwood and Woolston CRAF programme:

8. The Wyon Street and Hulbert Street renewal project. The work completed so far will be stored to be used if the project is delivered from another funding source in the future. Wyon and Hulbert Streets have now been considered for inclusion in the FY25-26 maintenance resealing programme.
 9. The Linwood and Woolston area-wide speed restriction project, as this project is now being funded from the Safe Speed Neighbourhoods programme.
 10. The Te Aratai College pedestrian and cycle access project, as this project is proposed to be funded independently in a future Long Term Plan.
- 5.14 The decision affects the Linwood ward. The Waitai Coastal-Burwood-Linwood Community Board have the delegated authority to make this decision on the Linwood-Woolston CRAF programme.

6. Policy Framework Implications Ngā Hīraunga ā- Kaupapa here

Strategic Alignment Te Rautaki Tīaroaro

- 6.1 The projects listed above will deliver on a range of benefits that align with Council's policies and strategies associated with providing a level of service for safety, accessibility and condition:
- The Safer Christchurch Strategy (2016).
 - The New Zealand Road Safety Strategy - Road to Zero: sets a target to reduce death and serious injuries on New Zealand roads by 40% over the next 10 years. There are five key focus areas: infrastructure improvements and speed management, vehicle safety, work related road safety, road user choices, and system management.
 - The Land Transport Rule: Setting of Speed Limits 2017: requires that road controlling authorities must set speed limits that are safe and appropriate, and encourages a consistent approach to speed management throughout New Zealand.
 - The Transport Management Plan and the Transport Activity Plan, which provide the foundations for Council's Long Term Plan.
 - The Equity and Access for People with Disabilities Policy (2001)

6.2 This report supports the :

6.3 Transport

6.3.1 Activity: Transport

- Level of Service: 16.0.1 Maintain roadway condition to an appropriate national standard, - >=5% of the sealed local road network is resurfaced per year

Policy Consistency Te Whai Kaupapa here

6.4 The decision is consistent with Council's Plans and Policies.

Impact on Mana Whenua Ngā Whai Take Mana Whenua

- 6.5 The decision does not involve a significant decision in relation to ancestral land or a body of water or other elements of intrinsic value, therefore this decision does not specifically impact Mana Whenua, their culture and traditions.
- 6.6 The decision does not involve a matter of interest to Mana Whenua and will no impact on our agreed partnership priorities with Ngā Papatipu Rūnanga.

Climate Change Impact Considerations Ngā Whai Whakaaro mā te Āhuarangi

- 6.7 The decisions in this report are likely to:
 - 6.7.1 Contribute positively to adaptation to the impacts of climate change.
 - 6.7.2 Contribute positively to emissions reductions.
 - 6.7.3 The majority of the work in the recommended programme will includes measures to slow vehicle speeds and improve road safety. This could encourage people to use alternative modes of transport, which will result in reduced carbon emissions and have a positive effect of Climate Change.

Accessibility Considerations Ngā Whai Whakaaro mā te Hunga Hauā

- 6.8 The majority of the work in the programme will result in vehicles travelling at reduced speeds, which will provide a safer and more accessible environment for all road users, including pedestrians and cyclists.

7. Resource Implications Ngā Hīraunga Rauemi

Capex/Opex Ngā Utu Whakahaere

- 7.1 Cost to Implement - \$6.5 million for the Linwood and Woolston CRAF programme, this includes all staff costs.
- 7.2 Maintenance/Ongoing costs - these will be calculated for each project and detailed in the decision reports and will be covered under the roading maintenance contracts.
- 7.3 Funding Source - The \$40 million Christchurch Regeneration Acceleration Facility, provided by Treasury.

8. Legal Implications Ngā Hīraunga ā-Ture

Statutory power to undertake proposals in the report Te Manatū Whakahaere Kaupapa

- 8.1 The Waitai Coastal-Burwood-Linwood Community Board have the delegated authority to make this decision on the Linwood and Woolston CRAF programme.

Other Legal Implications Ētahi atu Hīraunga ā-Ture

- 8.2 If the Officer recommendations are approved, this decision supersedes the previously approved Linwood and Woolston CRAF programme on 13 April 2022 by the Waikura Linwood-Central-Heathcote Community Board, documented in the decision report 22/209652.



9. Risk Management Implications Ngā Hīraunga Tūraru

- 9.1 If the Waitai Coastal-Burwood-Linwood Community Board do not approve the updated list of prioritised projects to be included in the Linwood and Woolston Christchurch Regeneration Acceleration Facility (CRAF) programme, there is the risk the projects which have already been approved for delivery will not get constructed, causing reputational risk to Council.

10. Next Steps Ngā Mahinga ā-muri

- 10.1 Staff will work on delivery of the Boards resolutions and come back to the Board as and when required.

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A  	Previously approved Linwood and Woolston CRAF programme update table - 18.03.2024	24/457612	96

In addition to the attached documents, the following background information is available:

Document Name – Location / File Link
Waikura Linwood-Central-Heathcote Community Board - Linwood and Woolston CRAF programme decision report 13 April 2022 – TRIM 22/209652

Confirmation of Statutory Compliance Te Whakatūturutanga ā-Ture

Compliance with Statutory Decision-making Requirements (ss 76 - 81 Local Government Act 2002).
(a) This report contains:
(i) sufficient information about all reasonably practicable options identified and assessed in terms of their advantages and disadvantages; and
(ii) adequate consideration of the views and preferences of affected and interested persons bearing in mind any proposed or previous community engagement.
(b) The information reflects the level of significance of the matters covered by the report, as determined in accordance with the Council's significance and engagement policy.

Signatories Ngā Kaiwaitohu

Author	Kelly Griffiths - Senior Project Manager
Approved By	Sharon O'Neill - Prorgamme Manager - Transport Lynette Ellis - Head of Transport & Waste Management

Approved Linwood and Woolston CRAF Programme						
Priority	Project	Budget	February 2024 estimate	Original Completion date	Project Status	Running total
High	Linwood Avenue School slip lane upgrade	\$300,000	\$650,000	30 June 2024	The scheme was consulted on and approved by the Coastal-Burwood-Linwood Board in September 2023. The detailed design is almost complete, and construction is planned for the April 2024 school holidays.	
High	Rhona Street pedestrian improvements	Previously funded by Transport Choices, no budget allocated	\$400,000	Transport Choices 30 June 2024	The scheme was approved under the Transport Choices approvals in September 2023. The detailed design is almost complete, and construction could begin in the near future.	
High	Smith Street cycle and pedestrian improvements	Previously funded by Transport Choices, no budget allocated	\$600,000	Transport Choices 30 June 2024	The scheme was approved under the Transport Choices approvals in September 2023. The detailed design is almost complete, and construction could begin in the near future.	\$1,650,000
Medium	Worcester Street restoration	\$200,000	\$200,000	30 November 2024	The scheme is complete, and construction could begin in the near future. This would not require public consultation or Community Board approval.	\$1,850,000
Medium	Tilford Street footpath improvements	\$260,000	\$100,000	30 January 2024	The scope is approximately 200 metres of footpath resurfacing and construction could begin in the near future. This would not require public consultation or Community Board approval.	\$1,950,000
Medium	Chelsea Street renewal	\$800,000	\$2,000,000	30 November 2024	Limited work has taken place on the scheme until a there is an indication from the Board on whether to proceed with the project. The cost estimate has been provided based on recent construction rates but is still high-level and high risk. This would require public consultation and Community Board approval.	\$3,950,000
Medium	Butterfield Avenue restoration	\$600,000	\$1,650,000	30 November 2024	Limited work has taken place on the scheme until a there is an indication from the Board on whether to proceed with the project. The cost estimate has been provided based on recent construction rates but is still high-level and high risk. This would not require public consultation or Community Board approval.	\$5,600,000
Medium	Wyon Street and Hulbert Street renewal	\$2,350,000	\$6,500,000	30 November 2024	The scheme options are complete, the estimate for the full street renewal is significantly over budget. Factors include coal tar, protecting the culvert and significant drainage requirements. Multiple options have been considered but none can be delivered within the budget. Consultation has not taken place, there has been one resident meeting held onsite.	
					Spend to date: <ul style="list-style-type: none">Wyon and Hulbert Street renewalWorcester Street restorationTilford Street footpath improvements	\$220,000

Alternative funding					
	Linwood and Woolston area-wide speed restriction	Previously funded by Transport Choices, now Minor Road Safety Programme	Not applicable	End March 2024	The scheme was approved in July 2023 under the Safe Speed Neighbourhoods programme. It is now funded by the Minor Road Safety Programme and is not considered in the Linwood and Woolston CRAF programme. The construction is underway and will be completed by the end of March 2024.
	Te Aratai College pedestrian and cycle access project	Previously funded by Transport Choices, now to be considered in a future LTP	Not applicable	To be confirmed	The scheme was approved under the Transport Choices approvals in September 2023. It is now proposed that this project is funded in a future Long Term Plan and is not considered in the Linwood and Woolston CRAF programme.

13. Bus stop upgrades on Bluestone Drive

Reference / Te Tohutoro: 24/292125

Report of / Te Pou Mansour Johari, Passenger Transport Engineer
Matua: (Mansour.johari@ccc.govt.nz)

Senior Manager / Jane Parfitt, Interim General Manager Infrastructure, Planning and
Pouwhakarae: Regulatory Services

1. Purpose and Origin of Report Te Pūtake Pūrongo

- 1.1 To approve upgrades proposed for bus stops (ID - 45420) opposite 78 Bluestone Drive.
- 1.2 This report is staff generated in response to a request from community to the Community Board for a seat.
- 1.3 Staff investigations have revealed that the current bus stop requires additional improvements, such as line markings, a hardstand area, an accessible kerb, and tactile pavers.
- 1.4 On average, 31 passengers, mainly elderly individuals, use this bus stop daily.
- 1.5 The decision in this report is of low significance in relation to the Christchurch City Council's Significance and Engagement Policy. The level of significance was determined by considering the criteria set out in the Council's Significance and Engagement Policy.

2. Officer Recommendations Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board approves:

Bus stop 45420 – Opposite 78 Bluestone (Attachment A)

1. Pursuant to Clause 7 of the Christchurch City Council Traffic and Parking Bylaw 2017:
 - a. That parking be restricted at all times on the east side of Bluestone Drive commencing at a point 31 metres south of its intersection with Lakebridge Place and extending in a southerly direction for a distance of 10 metres.
 - b. That a bus stop be installed on east side of Bluestone Drive commencing at a point 41 metres south of its intersection with Lakebridge Place and extending in a southerly direction for a distance of 14 metres.
 - c. That parking be restricted at all times on the east side of Bluestone Drive commencing at a point 55 metres south of its intersection with Lakebridge Place and extending in a southerly direction for a distance of 8 metres.
2. Pursuant to Section 339(1) of the Local Government Act 1974:
 - a. That a bus passenger shelter be installed on the east side of Bluestone Drive commencing at a point 46 metres south of its intersection with Lakebridge Place and extending in a southerly direction for a distance of approximately 3.6 metres.
3. That any previous resolutions pertaining to parking and stopping restrictions made pursuant to any bylaw to the extent that they conflict with the parking and stopping restrictions described in clauses 1 – 2 above are revoked.
4. That these recommendations if approved, take effect when the parking and stopping restrictions that evidence the restrictions described in clauses 1 – 2 above are in place.

3. Reason for Report Recommendations Ngā Take mō te Whakatau

- 3.1 Bus stop 45420 serves bus route 135 (one-hour frequency), with an average of 31 passengers using it daily including elderly individuals from the rest home situated across Prestons Road.
- 3.2 The current bus stop does not include standard line marking, hardstand area, tactile pavers, and waiting area facilities. Also, there is vehicle crossing where the bus front door opens.
- 3.3 This highlights several concerns including the visibility and accessibility of the bus stop, potential issues with on-street parking at the stop, and the long waiting time due to the low bus frequency while no weather protection or seating is provided.
- 3.4 The last issue is of particular importance at this bus stop, as the long waiting time is tiring for elderly people, as highlighted in the community request raised to the Community Board.
- 3.5 To address above concerns, staff recommend upgrading this bus stop by adding standard line marking and a shelter as detailed in Section 2 and shown in Attachment A.
- 3.6 Other bus stop facilities like hardstand area, accessible kerb, and tactile pavers are considered in the proposed upgrades as well, as shown in Attachment A.

4. Alternative Options Considered Ētahi atu Kōwhiringa

- 4.1 Option 2 – Do nothing option and the existing street conditions will remain as is.
 - The advantages of this option include:
 - a. Council will not incur any costs.
 - The disadvantages of this option include:
 - a. The concerns discussed in clauses 3.2 and 3.3 of section 3 will remain unaddressed.

5. Detail Te Whakamahuki

- 5.1 Enhancing this bus stop has been prioritised with a focus on providing convenient access for bus passenger in all ranges of abilities and ages.
- 5.2 This priority is underscored by the fact that the bus stop is well used by elderly people living in the Alpine View rest home in the vicinity of the bus stop and the low frequency of bus service which increases the waiting time at the bus stop.
- 5.3 Environment Canterbury supports the proposed plan.
- 5.4 Since the bus stop is located next to parkland, and the proposed shelter mostly falls within the park area, the Parks, Recreation, and Planning Team were notified and consulted regarding the plan.
- 5.5 The proposed plan has received approval and support from the Parks Recreation and Planning Team.
- 5.6 No residents will be affected by these changes and therefore, no consultation has been conducted.
- 5.7 The decision affects the following wards/Community Board areas:
 - 5.7.1 Waitai Coastal-Burwood-Linwood Community Board.

6. Policy Framework Implications Ngā Hīraunga ā- Kaupapa here

Strategic Alignment Te Rautaki Tīaroaro

- 6.1 Council's Strategic Framework is a key consideration in guiding the recommendations in this report. The recommendations in this report help achieve the:
- Community outcome of a well-connected and accessible city promoting active and public transport.
- 6.2 This report supports the Council's Long Term Plan (2021 - 2031):
- 6.3 Transport
- 6.3.1 Activity: Transport
- Level of Service: 10.4.1 More people are choosing to travel by bus - >=13.7 million people.
 - Level of Service: 10.4.4 Improve user satisfaction of public transport facilities (number and quality of shelters and quality of bus stop) - >=73% resident satisfaction.
 - Level of Service: 10.5.42 Increase the infrastructure provision for active and public modes - >= 600 kilometres (total combined length).

Policy Consistency Te Whai Kaupapa here

- 6.4 The decision is consistent with Council's Plans and Policies.

Impact on Mana Whenua Ngā Whai Take Mana Whenua

- 6.5 The decision does not involve a significant decision in relation to ancestral land or a body of water or other elements of intrinsic value, therefore this decision does not specifically impact Mana Whenua, their culture, and traditions.

Climate Change Impact Considerations Ngā Whai Whakaaro mā te Āhuarangi

- 6.6 Public transport is a key provision to support mode shift, reduce greenhouse gas emissions, traffic congestion and traffic crashes. Measures that promote the use of public transport make it a more attractive travel option, thereby supporting mode shift and associated benefits to the environment.

Accessibility Considerations Ngā Whai Whakaaro mā te Hunga Hauā

- 6.7 Accessibility by inclusive design:
- The proposed line marking provides a safe space for buses to safely pull in/out and stop parallel to kerb. This significantly improves accessibility to public transport for public particularly disabled people who use a wheelchair.
 - The standard and consistent design approach considered in the proposed upgrades improves the accessibility to public transport for blind and low vision people.
 - Improvements to kerb provides a safe and convenient access from kerb to bus for bus passengers specifically elderly people.

7. Resource Implications Ngā Hīraunga Rauemi

Capex/Opex Ngā Utu Whakahaere

- 7.1 Cost to Implement – Approximately \$36,000 for the bus stop improvements, plus \$2,000 for the planning, consultation, and preparation of this report.

- 7.2 Maintenance/Ongoing costs - Transport Unit Operational Expenditure budgets, includes maintenance of bus stop infrastructure, which adds up to approximately \$230 annually.
- 7.3 Funding Source - Traffic Operations, Capital Expenditure budget for bus stop, seating, and shelter installations.
- 7.4 If approved, the recommendations will be implemented during this financial year.

8. Legal Implications Ngā Hīraunga ā-Ture

Statutory power to undertake proposals in the report Te Manatū Whakahaere Kaupapa

- 8.1 The relevant Community Board or Committee have delegated authority from the Council to exercise the delegations as set out in the Register of Delegations. The list of delegations for the Community Boards includes the resolutions of:
 - Stopping, standing, and parking restrictions (including bus stops) under Clause 7 of the Traffic and Parking Bylaw 2017.
 - Bus passenger shelters under Section 339 (1) of the Local Government Act 1974.

Other Legal Implications Ētahi atu Hīraunga-ā-Ture

- 8.2 The legal consideration is that the installation of any signs and/or markings associated with traffic control devices must comply with the Land Transport Rule: Traffic Control Devices 2004.
- 8.3 Staff confirm no property is affected by the proposed shelter.
- 8.4 Staff confirm the shelters will not prevent vehicular or pedestrian access to any land having a frontage to the road.
- 8.5 Where no objection to the shelter has been presented by the owner or occupier of an affected property, staff present a decision-making report directly to the relevant Community Board.
- 8.6 This report has not been reviewed and approved by the Legal Services Unit.


9. Risk Management Implications Ngā Hīraunga Tūraru

- 9.1 Should the Community Board proceed with Option 2, the do-nothing option:
 - The concerns discussed in clauses 3.2 and 3.3 of section 3 will remain unaddressed.

10. Next Steps Ngā Mahinga ā-muri

- 10.1 Once recommendation approved, staff will contact the contractors to proceed with installation and construction.

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A 	Attachment A: Bus stop upgrades opposite 78 Bluestone Drive	24/388199	104

In addition to the attached documents, the following background information is available:

Document Name – Location / File Link
Not applicable

Confirmation of Statutory Compliance Te Whakatūturutanga ā-Ture

Compliance with Statutory Decision-making Requirements (ss 76 - 81 Local Government Act 2002).

- (a) This report contains:
- (i) sufficient information about all reasonably practicable options identified and assessed in terms of their advantages and disadvantages; and
 - (ii) adequate consideration of the views and preferences of affected and interested persons bearing in mind any proposed or previous community engagement.
- (b) The information reflects the level of significance of the matters covered by the report, as determined in accordance with the Council's significance and engagement policy.

Signatories Ngā Kaiwaitohu

Author	Mansour Johari - Passenger Transport Engineer
Approved By	Katie Smith - Team Leader Traffic Operations Stephen Wright - Manager Operations (Transport)



Christchurch
City Council

Bus stop #45420 opposite 78 Bluestone Drive
Bus Stop Improvements
For Community Board approval

Original Plan Size: A4
Drawn: MJR Issue 1 06/03/2024
Designed: MJ Drawing: TG148402
Approved: ... Project:

14. Bray Street - Proposed No Stopping Restrictions

Reference Te Tohutoro: 24/379789

Report of Te Pou Matua: Courtney Fale, Traffic Engineer

Senior Leader: Jane Parfitt, Interim General Manager Infrastructure, Planning &

Pouwhakarae: Regulatory Services, (Jane.Parfitt@ccc.govt.nz)

1. Purpose of the Report Te Pūtake Pūrongo

- 1.1 For the Waitai Coastal-Burwood-Linwood Community Board to consider the approval of No Stopping Restrictions.
- 1.2 The decisions in this report are of low significance in relation to the Christchurch City Council's Significance and Engagement Policy. The level of significance was determined by the low level of impact and low number of people affected by the recommended decision.
- 1.3 The recommended option is to Install No Stopping restrictions in accordance with Attachment A.

2. Staff Recommendations / Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approve that the stopping of vehicles be prohibited at any time on the southern side of Bray Street commencing at its intersection with Smith Street and extending in an easterly direction for a distance of 44 metres.
2. Revoke any previous resolutions pertaining to traffic controls made pursuant to any bylaw to the extent that they are in conflict with the traffic controls described in this report.
3. Approve that these resolutions take effect when parking signage and/or road marking that evidence the restrictions described in the staff report are in place (or removed in the case of revocations).

3. Reason for Report Recommendations Ngā Take mō te Whakatau

- 3.1 Safety concerns have been raised about the level of on-street parking resulting in limited street accessibility. Implementing the recommended changes will improve access and lead to a reduction in the risk of a crash by increasing road width for manoeuvrability, particularly for emergency vehicles.
- 3.2 The recommendations in this report will help to achieve the desired community outcome of a well-connected and accessible city through improved road safety.
- 3.3 Install No Stopping restrictions in accordance with Attachment A. The length of No Stopping in this option is the minimum length needed to provide drivers sufficient road width to access the street safely.

4. Alternative Options Considered Ētahi atu Kōwhiringa

4.1 Do nothing

The advantages of this option include:

- 4.1.1 Retaining 5 on-street parking spaces.
- 4.1.2 No cost to Council

The disadvantages of the option include:

- 4.1.3 Does not address safety concerns relating to through access of vehicles, including emergency vehicle access, when vehicles are parked in this location.

5. Detail Te Whakamahuki

- 5.1 Bray Street is approximately 6 metres wide. When vehicles are parked both sides it is a very narrow space for cars to move through. One resident has advised there has been at least one instance where they were not able to access the street and their property when a car and truck were parked on opposing sides near the entrance.
- 5.2 There is housing development planned for both corners at the entrance of Bray Street therefore demand for parking is expected to increase.
- 5.3 There have been no crashes recorded on Bray Street within the last five years. Although staff have not received any feedback from Emergency Services or Waste Management teams regarding accessibility concerns for this street, staff acknowledge that parking on both sides could cause significant inconveniences and/or fully restrict larger vehicles or cars towing trailers.
- 5.4 Approval is required by the Waitai Coastal-Burwood-Linwood Community Board.
- 5.5 If approved, the recommendations will be implemented within the current financial year (generally around four weeks after the contractor receives the request, but this is subject to other factors such as resourcing and prioritisation beyond Council's control).

Community Views and Preferences

Consultation letters were sent out to 15 properties on Bray Street.

Staff received two responses, both in favour of installing no stopping restrictions on Bray Street.

At the time of consultation, ownership of the newly built units had not been handed over to Kainga Ora therefore this report does not necessarily reflect their preferences.

Staff have since contacted Kainga Ora via email with the proposed plan and have requested that they provide feedback prior to the date of presentation of this report at the Community Board meeting.

- 5.6 The Team Leader Parking Compliance supports the preferred option.
- 5.7 The do nothing option is inconsistent with community requests to improve accessibility of Bray Street.

6. Policy Framework Implications Ngā Hiraunga ā- Kaupapa here

Strategic Alignment Te Rautaki Tīaroaro

- 6.1 Council's strategic priorities have been considered in formulating the recommendations in this report, however this area of work is not specifically covered by an identified priority.
- 6.2 This report supports the [Council's Long Term Plan \(2021 - 2031\)](#):
- 6.3 Transport
- 6.3.1 Activity: Transport
- Level of Service: 10.0.6.1 Reduce the number of death and serious injury crashes on the local road network - <=96 crashes

Policy Consistency Te Whai Kaupapa here

- 6.4 The recommendations in this report are consistent with the [Christchurch Suburban Parking Policy](#).

Impact on Mana Whenua Ngā Whai Take Mana Whenua

- 6.5 The effects of this proposal upon Mana Whenua are expected to be insignificant.

Climate Change Impact Considerations Ngā Whai Whakaaro mā te Āhuarangi

- 6.6 This proposal does not have any significant effect upon carbon emissions and Climate Change.

Accessibility Considerations Ngā Whai Whakaaro mā te Hunga Hauā

- 6.7 This proposal improves accessibility for pedestrians/drivers/cyclists, by providing a safer means of accessing Bray Street.

7. Resource Implications Ngā Hīraunga Rauemi

Capex/Opex Ngā Utu Whakahaere

- 7.1 Cost to Implement – Approximately \$300
7.2 Maintenance/Ongoing costs – Approximately \$200
7.3 Funding Source – Traffic Operations Signs and Marking Budget (2023/2024).

Other

- 7.4 None Identified

8. Legal Implications Ngā Hīraunga ā-Ture

Statutory power to undertake proposals in the report Te Manatū Whakahaere Kaupapa

- 8.1 Part 1, Clauses 7 and 8 of the Christchurch City Council Traffic and Parking Bylaw 2017 provides Council with the authority to install parking restrictions by resolution.
8.2 The Community Boards have delegated authority from the Council to exercise the delegations as set out in the Register of Delegations. The list of delegations for the Community Boards includes the resolution of stopping restrictions and traffic control devices.
8.3 The installation of any signs and/or markings associated with traffic control devices must comply with the Land Transport Rule: Traffic Control Devices 2004.

Other Legal Implications Ētahi atu Hīraunga-ā-Ture


- 8.4 There is no other legal context, issue or implication relevant to this decision.
8.5 This specific report has not been reviewed and approved by the Legal Services Unit however the report has been written using a general approach previously approved of by the Legal Services Unit, and the recommendations are consistent with the policy and legislative framework outlined in sections 8.1 to 8.3.

9. Risk Management Implications Ngā Hīraunga Tūraru

- 9.1 None Identified.



Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A 	Attachment A - Bray St No Stopping Restrictions for Board Approval	24/398790	109

In addition to the attached documents, the following background information is available:

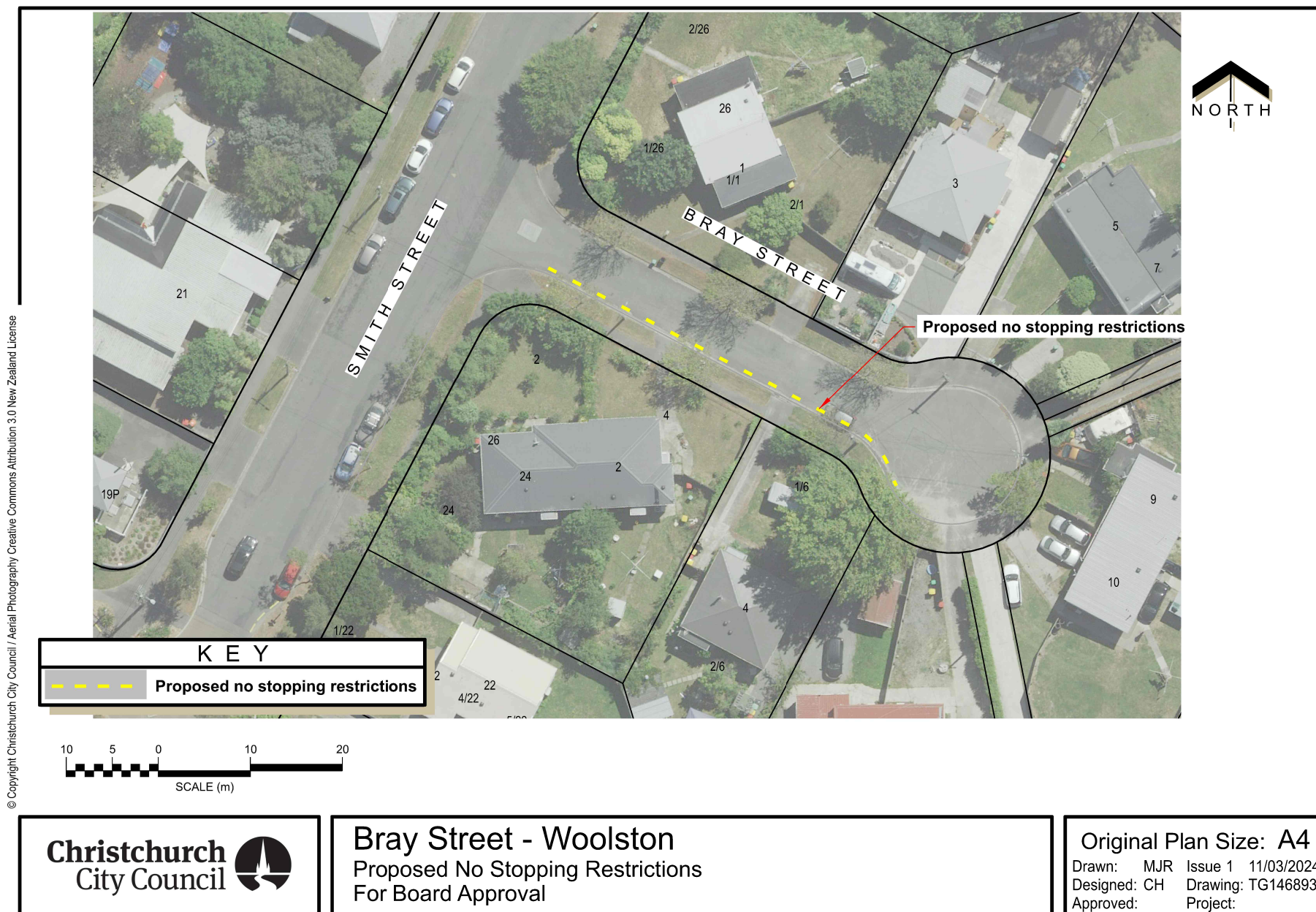
Document Name – Location / File Link
Not applicable

Confirmation of Statutory Compliance Te Whakatūturutanga ā-Ture

Compliance with Statutory Decision-making Requirements (ss 76 - 81 Local Government Act 2002).
(a) This report contains:
(i) sufficient information about all reasonably practicable options identified and assessed in terms of their advantages and disadvantages; and
(ii) adequate consideration of the views and preferences of affected and interested persons bearing in mind any proposed or previous community engagement.
(b) The information reflects the level of significance of the matters covered by the report, as determined in accordance with the Council's significance and engagement policy.

Signatories Ngā Kaiwaitohu

Author	Courtney Fale - Traffic Engineer
Approved By	Katie Smith - Team Leader Traffic Operations Stephen Wright - Manager Operations (Transport)



15. Aston Drive - Proposed No Stopping Restrictions

Reference Te Tohutoro: 24/382840

Report of Te Pou Matua: Courtney Fale, Traffic Engineer

Senior Leader: Jane Parfitt, Interim General Manager Infrastructure, Planning &

Pouwhakarae: Regulatory Services, (Jane.Parfitt@ccc.govt.nz)

1. Purpose of the Report Te Pūtake Pūrongo

- 1.1 For the Waitai Coastal-Burwood-Linwood Community Board to consider the approval of No Stopping Restrictions.
- 1.2 The decisions in this report are of low significance in relation to the Christchurch City Council's Significance and Engagement Policy. The level of significance was determined by the low level of impact and low number of people affected by the recommended decision.
- 1.3 The recommended option is to Install No Stopping restrictions in accordance with Attachment A.

2. Staff Recommendations / Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approve that the stopping of vehicles be prohibited at any time on the northern side of Aston Drive commencing 92 metres from the prolongation of the northern kerb of Sandalwood Place and following the road alignment generally in a north-westerly direction for a distance of 49 metres.
2. Approve that the stopping of vehicles be prohibited at any time on the southern side of Aston Drive commencing 92 metres from its intersection with Sandalwood Place and following the road alignment generally in a north-westerly direction for a distance of 54 metres.
3. Revoke any previous resolutions pertaining to traffic controls made pursuant to any bylaw to the extent that they are in conflict with the traffic controls described in this report.
4. Approve that these resolutions take effect when parking signage and/or road marking that evidence the restrictions described in the staff report are in place (or removed in the case of revocations).

3. Reason for Report Recommendations Ngā Take mō te Whakatau

- 3.1 Safety concerns have been raised regarding decreased visibility and restricted emergency access to the beach and/or forest caused by on street parking close to the bend. Implementing the noted recommendations will lead to a reduction in the risk of a crash by improving sightlines at the bend while also protecting access for emergency vehicles to the beach and/or forest.
- 3.2 The recommendations in this report will help to achieve the desired community outcome of a well-connected and accessible city through improved road safety.

Alternative Options Considered Ētahi atu Kōwhiringa

Do nothing

- 3.3 The advantages of this option include:

- 3.3.1 Retaining 8 on-street parking spaces.
- 3.3.2 No cost to Council
- 3.4 The disadvantages of the option include:
 - 3.4.1 Does not address safety concerns relating to visibility and through access of vehicles at the bend.
 - 3.4.2 Does not address safety concerns relating to parked vehicles blocking the emergency access gate to the beach and/or forest.

4. Detail Te Whakamahuki

- 4.1 There are high parking demands in the area at times due to the proximity of Waimari Beach and Bottle Lake Forest.
- 4.2 A search of the Waka Kotahi Crash Analysis System has identified there have been no crashes in this location within the last five years. Staff have not approached Emergency Services for feedback however previous requests from FENZ relating to parked vehicles blocking the emergency access gate have been noted.
- 4.3 Approval is required by the Waitai Coastal-Burwood-Linwood Community Board.
- 4.4 If approved, the recommendations will be implemented within the current financial year (generally around four weeks after the contractor receives the request, but this is subject to other factors such as resourcing and prioritisation beyond Council's control).

Community Views and Preferences

- 4.5 Residents in the area encompassing Aston Drive initially discussed their concerns in an online forum (Attachment B) which led to a single resident approaching Council on behalf of the group. The initial request to Council was for no stopping lines along the entire length of the northern side of Aston Drive that borders the forest. The customer has been advised that in most cases, Council do not install no stopping restrictions on streets unless they are less than 7 metres wide. Aston Drive is 7.7metres wide and standard for streets around the city. The length of requested no stopping restrictions would not be appropriate in this location for the following reasons:
 - Installing no stopping restrictions on the outside of the bend alone would not improve sightlines when cars are parked on the southern side at the corner.
 - On street parking encourages people to travel at a lower speed as when cars are parked both sides, drivers are required to focus more intently to navigate the space.
 - When cars are traveling in both directions and one is required to yield, there are numerous driveway spaces for vehicles to pull into which allows passing.Through the supporting document provided, it is evident that there is significant community support for the installation of no parking restrictions in this location with the original focus being concern for safety at the bend. The recommended option addresses the original concern raised.
- 4.6 Consultation letters were sent out to three properties adjacent to where staff are proposing to mark the no stopping restrictions.

We received two responses to these letters, both in favour of the proposed no stopping restrictions.
- 4.7 The Team Leader Parking Compliance supports the preferred option.

- 4.8 The do nothing option is inconsistent with community requests to improve visibility at the bend and emergency beach access.

5. Policy Framework Implications Ngā Hīraunga ā- Kaupapa here

Strategic Alignment Te Rautaki Tīaroaro

- 5.1 Council's strategic priorities have been considered in formulating the recommendations in this report, however this area of work is not specifically covered by an identified priority.
- 5.2 This report supports the [Council's Long Term Plan \(2021 - 2031\)](#):
- 5.3 Transport
- 5.3.1 Activity: Transport
- Level of Service: 10.0.6.1 Reduce the number of death and serious injury crashes on the local road network - <=96 crashes

Policy Consistency Te Whai Kaupapa here

- 5.4 The recommendations in this report are consistent with the [Christchurch Suburban Parking Policy](#).

Impact on Mana Whenua Ngā Whai Take Mana Whenua

- 5.5 The effects of this proposal upon Mana Whenua are expected to be insignificant.

Climate Change Impact Considerations Ngā Whai Whakaaro mā te Āhuarangi

- 5.6 This proposal does not have any significant effect upon carbon emissions and Climate Change.

Accessibility Considerations Ngā Whai Whakaaro mā te Hunga Hauā

- 5.7 This proposal improves accessibility for pedestrians/drivers/cyclists, by providing a safer means of manoeuvring through Aston Drive along with upholding emergency beach access.

6. Resource Implications Ngā Hīraunga Rauemi

Capex/Opex Ngā Utu Whakahaere

- 6.1 Cost to Implement – Approximately \$560
- 6.2 Maintenance/Ongoing costs – Approximately \$300
- 6.3 Funding Source – Traffic Operations Signs and Marking Budget (2023/2024).

Other

- 6.4 None Identified.

7. Legal Implications Ngā Hīraunga ā-Ture

Statutory power to undertake proposals in the report Te Manatū Whakahaere Kaupapa

- 7.1 Part 1, Clauses 7 and 8 of the Christchurch City Council Traffic and Parking Bylaw 2017 provides Council with the authority to install parking restrictions by resolution.
- 7.2 The Community Boards have delegated authority from the Council to exercise the delegations as set out in the Register of Delegations. The list of delegations for the Community Boards includes the resolution of stopping restrictions and traffic control devices.
- 7.3 The installation of any signs and/or markings associated with traffic control devices must comply with the Land Transport Rule: Traffic Control Devices 2004.



Other Legal Implications Ētahi atu Hīraunga-ā-Ture

- 7.4 There is no other legal context, issue or implication relevant to this decision.
- 7.5 This specific report has not been reviewed and approved by the Legal Services Unit however the report has been written using a general approach previously approved of by the Legal Services Unit, and the recommendations are consistent with the policy and legislative framework outlined in sections 8.1 to 8.3.

8. Risk Management Implications Ngā Hīraunga Tūraru

- 8.1 None Identified

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A 	Attachment A - Aston Drive no stopping restrictions	24/415214	115
B 	Attachment B - Aston Drive Community Request	24/382842	116

In addition to the attached documents, the following background information is available:

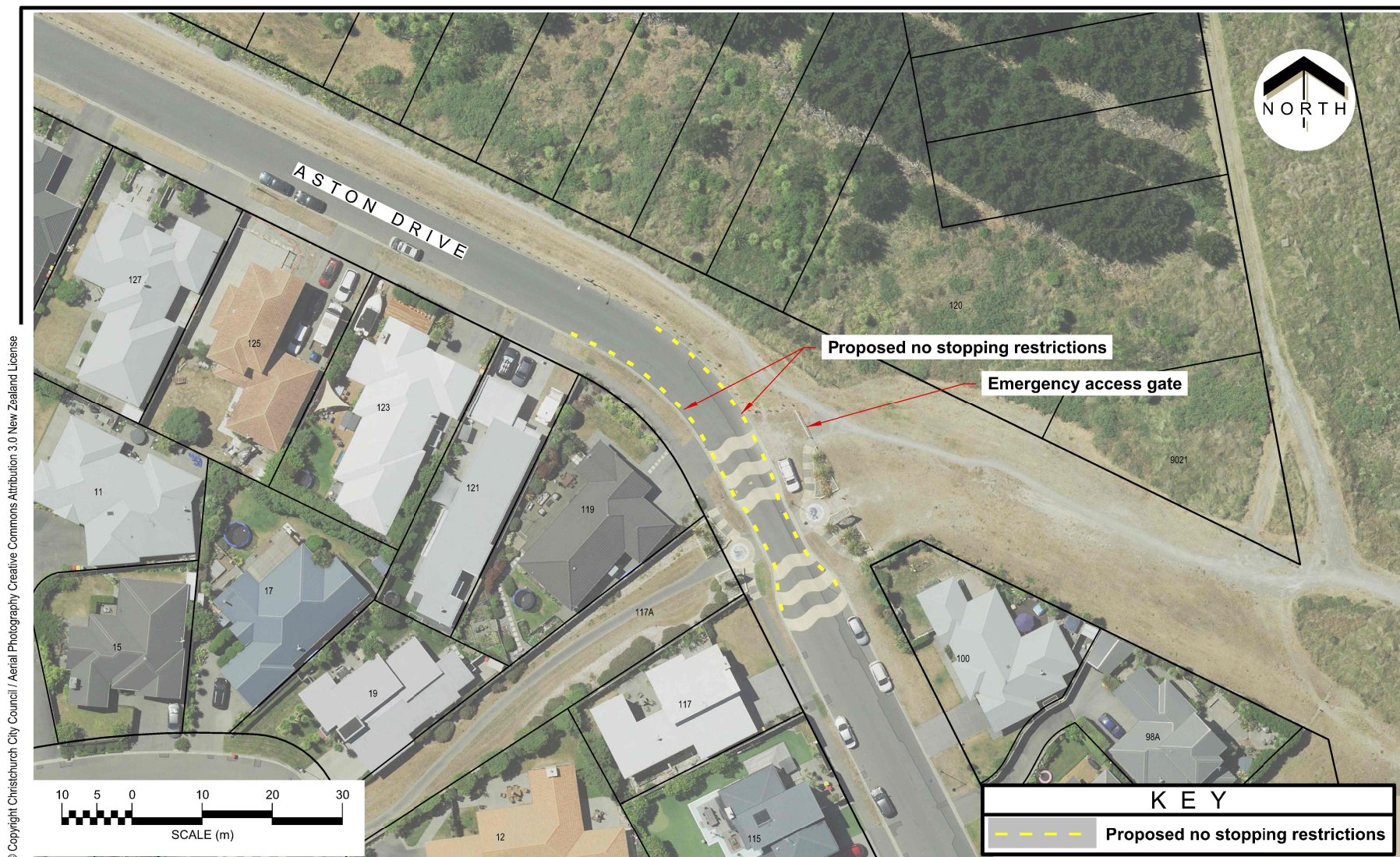
Document Name – Location / File Link
Not applicable

Confirmation of Statutory Compliance Te Whakatūturutanga ā-Ture

- Compliance with Statutory Decision-making Requirements (ss 76 - 81 Local Government Act 2002).
- (a) This report contains:
- (i) sufficient information about all reasonably practicable options identified and assessed in terms of their advantages and disadvantages; and
 - (ii) adequate consideration of the views and preferences of affected and interested persons bearing in mind any proposed or previous community engagement.
- (b) The information reflects the level of significance of the matters covered by the report, as determined in accordance with the Council's significance and engagement policy.

Signatories Ngā Kaiwaitohu

Author	Courtney Fale - Traffic Engineer
Approved By	Katie Smith - Team Leader Traffic Operations Stephen Wright - Manager Operations (Transport)



Christchurch
City Council

Aston Drive
Proposed No Stopping Restriction
For Board Approval

Designed: ET Approved: GD

Original Plan Size: A4

ISSUE.1 11/03/2024
TG146813 MJR

Aston Drive (North)



Item 15

Attachment B

Comments continued....

The residents of Waimairi Beach are requesting for yellow lines to be painted on the northern side of Aston Drive (from where the road narrows up to the bus stop by the carpark).

The beautiful weather this weekend brought a huge amount of people to the beach and unfortunately multiple drivers decided to park on both sides of the road making it difficult for cars and near impossible for buses to get through.

Residents had to ask beach goers to move their cars as they were blocking the road and driveways.

As you can see from the Facebook community group post there are many residents in support of these yellow lines.

16. Edmonds Street - Proposed No Stopping Restrictions

Reference Te Tohutoro: 24/388705

Report of Te Pou Matua: Courtney Fale, Traffic Engineer

Senior Leader: Jane Parfitt, Interim General Manager Infrastructure, Planning &

Pouwhakarae: Regulatory Services, (Jane.Parfitt@ccc.govt.nz)

1. Purpose of the Report Te Pūtake Pūrongo

- 1.1 For the Waitai Coastal-Burwood-Linwood Community Board to consider the approval of No Stopping Restrictions.
- 1.2 The decisions in this report are of low significance in relation to the Christchurch City Council's Significance and Engagement Policy. The level of significance was determined by the low level of impact and low number of people affected by the recommended decision.
- 1.3 This report has been written in response to a request from a Council contractor who has been unable to access the street in their large vehicle (on multiple occasions) when cars have been parked on both sides.
- 1.4 The recommended option is to Install No Stopping restrictions in accordance with Attachment A.

2. Staff Recommendations / Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Approves, pursuant to Clause 7 of the Christchurch City Council Traffic and Parking Bylaw 2017, that:
 - a. The stopping of vehicles be prohibited at any time on the northeast side of Edmonds Street commencing at its intersection with Randolph Street and extending in a southeasterly direction for a distance of 38 metres.
 - b. The stopping of vehicles be prohibited at any time on the northeast side of Edmonds Street commencing at a point 79 metres southeast of its intersection with Randolph Street and following the road alignment generally in a southeasterly direction for a distance of 35 metres.
 - c. The stopping of vehicles be prohibited at any time on the southeast side of Edmonds Street commencing at a point 38 metres southeast of its intersection with Randolph Street and extending in a southeasterly direction for a distance of 37 metres.
 - d. The stopping of vehicles be prohibited at any time on the southeast side of Edmonds Street commencing at its intersection with Randolph Street and extending in a southeasterly direction for a distance of 9 metres.
2. Revoke any previous resolutions pertaining to traffic controls made pursuant to any bylaw to the extent that they are in conflict with the traffic controls described in this report.
3. Approve that these resolutions take effect when parking signage and/or road marking that evidence the restrictions described in the staff report are in place (or removed in the case of revocations).

3. Reason for Report Recommendations Ngā Take mō te Whakatau

- 3.1 The recommendations in this report will help to achieve the desired community outcome of a well-connected and accessible city through improved road safety.
- 3.2 Install No Stopping restrictions in accordance with Attachment A. The length of No Stopping in this option is the minimum length needed to provide access to the entire length of the street for vehicles of all sizes, including emergency vehicles.

4. Alternative Options Considered Ētahi atu Kōwhiringa

Do nothing

The advantages of this option include:

- 4.1.1 Retaining eight on-street parking spaces.
- 4.1.2 No cost to Council

The disadvantages of the option include:

- 4.1.3 Does not address safety concerns relating to through access of oversized vehicles including emergency vehicle access.
- 4.1.4 Does not address the disruption to bin collection and related inconvenience for residents and Council contractors.

5. Detail Te Whakamahuki

- 5.1 Edmonds Street is approximately 6.9 metres wide which is considered narrower than standard for streets around the city.
- 5.2 Parking demands in the area have increased due to housing intensification.
- 5.3 A search of the New Zealand Land Transport Agency Crash Analysis System identified no crashes on this street within the last five years.
- 5.4 Approval is required by the Waitai Coastal-Burwood-Linwood Community Board.
- 5.5 If approved, the recommendations will be implemented within the current financial year (generally around four weeks after the contractor receives the request, but this is subject to other factors such as resourcing and prioritisation beyond Council's control).

Community Views and Preferences

- 5.6 Consultation letters were sent to all (26) properties at the eastern end of Edmonds Street.

Staff received eight mixed responses to the proposed plan:

- Three residents responded in favour of the plans.
- A further generally agreeable response was received however, the resident suggested that alternatively, a designated area to place bins on collection day could be considered to allow retention of parking spaces. This suggestion was discussed with the Waste Management team and found to be inappropriate as (due to people moving into and out of properties regularly) not all residents would necessarily know of or adhere to the plan.
- Two negative responses were received mentioning concerns for reduced parking and suggested time restricted parking as an alternative option. Staff would not consider time restricted parking as it does not address accessibility of the street and associated safety risks when cars are parked both sides.

- A further negative response mentioned concerns for having to park further away at nighttime and associated potential safety concerns.

5.7 The Team Leader Parking Compliance supports the preferred option.

6. Policy Framework Implications Ngā Hīraunga ā- Kaupapa here

Strategic Alignment Te Rautaki Tīaroaro

- 6.1 Council's strategic priorities have been considered in formulating the recommendations in this report, however this area of work is not specifically covered by an identified priority.
- 6.2 This report supports the [Council's Long Term Plan \(2021 - 2031\)](#):

Policy Consistency Te Whai Kaupapa here

- 6.3 The recommendations in this report are consistent with the [Christchurch Suburban Parking Policy](#).

Impact on Mana Whenua Ngā Whai Take Mana Whenua

- 6.4 The effects of this proposal upon Mana Whenua are expected to be insignificant.

Climate Change Impact Considerations Ngā Whai Whakaaro mā te Āhuarangi

- 6.5 This proposal does not have any significant effect upon carbon emissions and Climate Change.

Accessibility Considerations Ngā Whai Whakaaro mā te Hunga Hauā

- 6.6 This proposal improves accessibility for pedestrians/drivers/cyclists, by providing a safer means of accessing Edmonds Street.

7. Resource Implications Ngā Hīraunga Rauemi

Capex/Opex Ngā Utu Whakahaere

- 7.1 Cost to Implement – Approximately \$500 for installation of new road markings, plus \$750 for the investigation and preparation of this report.
- 7.2 Maintenance/Ongoing costs – Approximately \$300 per year.
- 7.3 Funding Source – Traffic Operations Signs and Marking Budget (2023/2024).

Other

- 7.4 None identified.

8. Legal Implications Ngā Hīraunga ā-Ture

Statutory power to undertake proposals in the report Te Manatū Whakahaere Kaupapa

- 8.1 Part 1, Clauses 7 and 8 of the Christchurch City Council Traffic and Parking Bylaw 2017 provides Council with the authority to install parking restrictions by resolution.
- 8.2 The Community Boards have delegated authority from the Council to exercise the delegations as set out in the Register of Delegations. The list of delegations for the Community Boards includes the resolution of stopping restrictions and traffic control devices.
- 8.3 The installation of any signs and/or markings associated with traffic control devices must comply with the Land Transport Rule: Traffic Control Devices 2004.

Other Legal Implications Ētahi atu Hīraunga-ā-Ture

- 8.4 There is no other legal context, issue or implication relevant to this decision.




- 8.5 This specific report has not been reviewed and approved by the Legal Services Unit however the report has been written using a general approach previously approved of by the Legal Services Unit, and the recommendations are consistent with the policy and legislative framework outlined in sections 8.1 to 8.3.

9. Risk Management Implications Ngā Hīraunga Tūraru

- 9.1 None Identified.

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A 	Attachment A - Edmonds Street Proposed No Stopping Restrictions	24/417808	121

In addition to the attached documents, the following background information is available:

Document Name – Location / File Link
Not applicable

Confirmation of Statutory Compliance Te Whakatūturutanga ā-Ture

Compliance with Statutory Decision-making Requirements (ss 76 - 81 Local Government Act 2002).

- (a) This report contains:
- (i) sufficient information about all reasonably practicable options identified and assessed in terms of their advantages and disadvantages; and
 - (ii) adequate consideration of the views and preferences of affected and interested persons bearing in mind any proposed or previous community engagement.
- (b) The information reflects the level of significance of the matters covered by the report, as determined in accordance with the Council's significance and engagement policy.

Signatories Ngā Kaiwaitohu

Author	Courtney Fale - Traffic Engineer
Approved By	Katie Smith - Team Leader Traffic Operations Stephen Wright - Manager Operations (Transport)



17. Waitai Coastal-Burwood-Linwood 2023-24 Discretionary Response Fund Application - Stitch-O-Mat

Reference / Te Tohutoro: 24/366345

Report of / Te Pou Emily Toase, Community Development Advisor
Matua: (Emily.Toase@ccc.govt.nz)

Senior Manager / Andrew Rutledge, Acting General Manager Citizens and Community
Pouwhakarae:

1. Purpose of Report Te Pūtake Pūrongo

- 1.1 The purpose of this report is for the Waitai Coastal-Burwood-Linwood Community Board to consider an application for funding from its 2023-24 Discretionary Response Fund from the organisation listed below.

Funding Request Number	Organisation	Project Name	Amount Requested	Amount Recommended
00067063	Stitch-O-Mat Charitable Trust	Moving and setting up at their new premises	\$5,970	\$2,000

- 1.2 There is currently a balance of \$6,716 remaining in the fund.

2. Staff Recommendations / Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

- Approves a grant of \$2,000 from its 2023-24 Discretionary Response Fund to Stitch-O-Mat Charitable Trust towards the costs of moving and setting up at their new premises.

3. Key Points Ngā Take Matua

Strategic Alignment Te Rautaki Tīaroaro

- 3.1 The recommendations above are aligned to the Council's Strategic Framework and in particular the strategic priorities of a Collaborative and Confident City and A Cultural Powerhouse City. The projects also align with the Te Haumako Te Whitingia Strengthening Communities Together Strategy.

Decision Making Authority Te Mana Whakatau

- 3.2 The Community Board has the delegated authority to determine the allocation of the Discretionary Response Fund for each community.

3.2.1 Allocations must be consistent with any policies, standards or criteria adopted by the Council.

3.2.2 The Fund does not cover:

- Legal challenges or Environment Court challenges against the Council, Council Controlled organisations or Community Board decisions.
- Projects or initiatives that change the scope of a Council project or that will lead to ongoing operational costs to the Council (though Community Boards can recommend to the Council that it consider a grant for this purpose).

Assessment of Significance and Engagement Te Aromatawai Whakahirahira

- 3.3 The decisions in this report are of low significance in relation to the Christchurch City Council's Significance and Engagement Policy.
- 3.4 The level of significance was determined by the number of people affected and/or with an interest.
- 3.5 Due to the assessment of low significance, no further community engagement and consultation is required.


Discussion Kōrerorero

- 3.6 At the time of writing, the balance of the 2023-24 Discretionary Response Fund is as below.

Total Budget 2020/21	Granted To Date	Available for allocation	Balance If Staff Recommendation adopted
\$82,116	\$75,400	\$6,716	\$4,716

- 3.7 Based on the current Discretionary Response Fund criteria, the applications listed above are eligible for funding.
- 3.8 The attached Decision Matrix provides detailed information for the applications. This includes organisational details, project details, financial information and a staff assessment.

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A 	Decision Matrix - Stitch-O-Mat	24/442771	125

Confirmation of Statutory Compliance Te Whakatūturutanga ā-Ture

Compliance with Statutory Decision-making Requirements (ss 76 - 81 Local Government Act 2002).

(a) This report contains:

- (i) sufficient information about all reasonably practicable options identified and assessed in terms of their advantages and disadvantages; and
- (ii) adequate consideration of the views and preferences of affected and interested persons bearing in mind any proposed or previous community engagement.

(b) The information reflects the level of significance of the matters covered by the report, as determined in accordance with the Council's significance and engagement policy.

Signatories Ngā Kaiwaitohu

Author	Emily Toase - Community Development Advisor
Approved By	Christopher Turner-Bullock - Manager Community Governance, Coastal-Burwood-Linwood

2023/24 DRF COASTAL-BURWOOD-LINWOOD DECISION MATRIX

Priority Rating

One	Meets all eligibility criteria and contributes significantly to Funding Outcomes and Priorities. Highly recommended for funding.
Two	Meets all eligibility criteria and contributes to Funding Outcomes and Priorities. Recommended for funding.
Three	Meets all eligibility criteria and contributes to Funding Outcomes and Priorities but to a lesser extent than Priority 2 applications. Not recommended for funding.
Four	Meets all eligibility criteria and has minimum contribution to Funding Outcomes and Priorities / Insufficient information provided by applicant (in application and after request from Advisor) / Other funding sources more appropriate. Not recommended for funding.

00067063	Organisation Name Stitch-O-Mat Charitable Trust	Name and Description Moving Premises	Funding History 2023/24 - \$2,000 (Bridget Allen) CCNZ R1 2023/24 - \$4,000 (New Brighton Stitch-O-Mat) SCF CBL 2022/23 - \$4,000 (New Brighton Stitch-O-Mat) Facility Management) DRF CBL 2022/23 - \$4,000 (New Brighton Stich-O-Mat) SCF CBL 2021/22 - \$4,000 (New Brighton Stitch-O-Mat) SCF CBL Other Sources of Funding Currently no other sources of funding other than funds on hand, which has been granted for operating costs.	Request Budget Total Cost \$ 5,970 Requested Amount \$ 5,970 100% percentage requested Contribution Sought Towards: Rent Increase - \$4,200 Moving Truck - \$850 Signage - \$920	Staff Recommendation \$2,000 That the Waitai Coastal-Burwood-Linwood Community Board approves a grant of \$2,000 from its 2023-24 Discretionary Response Fund to Stitch-O-Mat Charitable Trust towards the costs of moving and setting up at their new premises.	Priority 2
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Organisation Details:

Service Base:	68 Hawke Street, New Brighton
Legal Status:	Charitable Trust
Established:	17/09/2018
Staff – Paid:	2
Volunteers:	4
Annual Volunteer Hours:	500
Participants:	70,000
Target Groups:	Community Development
Networks:	N/A

Organisation Description/Objectives:

The New Brighton Stitch-O-Mat is in its seventh year of operation. What began out of a small project to create reusable shopping bags for our local Fruit and Vegetable Co-op has grown exponentially over this time. Sessions are often attended by up to fourteen individuals at any one time and we are inundated by requests from the organisations, businesses, and education providers to assist them in their efforts to work sustainably.

Alignment with Council Strategies and Policies

- Te Haumako Te Whitingia

Alignment with Council Funding Outcomes

- Support, develop and promote capacity
- Community participation and awareness
- Increase community engagement
- Provide community based programmes
- Reduce or overcome barriers

Outcomes that will be achieved through this project

- Continue to be open to the community five days week.
- Continue to support community groups with sewing projects to support their mahi.
- Continue to reduce the impact of fast fashion, diverting fabric waste from landfill for reuse.

How Will Participants Be Better Off?

Stich-O-Mat provides a place where participants feel welcomed, safe and are able to relax and connect with others. This helps to promote community wellbeing by providing an affordable and accessible community space for people to learn and connect. The project helps support vulnerable and isolated tangata, particularly those with disabilities as a safe and welcoming space addressing a key social development issue of social isolation.

Staff Assessment

Stitch-O-Mat is currently based at 68 Hawke Street in Surfside Mall, New Brighton. They provide a community sewing room, the machines, tools, materials, and expertise for people to get involved in community sewing projects, share and learn sewing skills. The sewing room is open 10am to 2pm on Monday, Wednesday and Fridays, 7pm-9pm on Tuesdays and 1pm-4pm on Sunday for drop-in sessions. Participants can come along to any of the sessions and bring their own project or pick one of several community projects Stitch-O-Mat are facilitating. These include Veggie Co-op bags or costumes for the Childrens Ward at Christchurch Hospital. Stitch-O-Mat also offers a Learn-to-Sew class and Sustainability Workshops. This enables a practical, hands-on way to recycle fabric and develop creativity.

Their current premises were sold in November last year where they were subleasing from a business who subsequently closed. Stich-O-Mat have now had to find a new location from which to operate. The group has secured a new space in Carnaby Mall which will allows them to stay in New Brighton and continue to support the community there with sewing facility. The new location is Shop 4, Carnaby Lane which is where Brighton Gallery Trust have just moved from. The group are seeking help with funding for the costs of moving, increased costs in rent and to produce signage to be able to direct the community to their new location.

Rationale for Staff Recommendation:

- Stitch-O-Mat is a not-for-profit organisation that have been operating now for 8 years. In that time they had to move twice due to developments in New Brighton and deal with costs associated with relocating and re-establish their facility at new locations.
- A contribution will help the group meet the costs of moving, get set up and re-established the sewing room again in their new location.



18. Waitai Coastal-Burwood-Linwood Community Board Area Report - April 2024

Reference / Te Tohutoro:	24/247765
Report of / Te Pou Matua:	Christopher Turner-Bullock, Community Governance Manager (Christopher.Turner @ccc.govt.nz)
Senior Manager / Pouwhakarae:	Andrew Rutledge, Acting General Manager Citizens and Community (Andrew.Rutledge@ccc.govt.nz)

1. Purpose of Report Te Pūtake Pūrongo

This report provides the Board with an overview on initiatives and issues current within the Community Board area.

2. Officer Recommendations Ngā Tūtohu

That the Waitai Coastal-Burwood-Linwood Community Board:

1. Receive the Waitai Coastal-Burwood-Linwood Community Board Area Report for April 2024.

3. Community Support, Governance and Partnership Activity

3.1 Community Governance Projects

Activity	Detail	Timeline	Strategic Alignment
Air quality monitoring in Bromley	Community Governance staff have supported the monitoring team in connecting with residents to install a sensor a Mecca Place in Bromley to monitor air quality.	On-going	Enhancing Environmental wellbeing
New Brighton Guardians	The Guardians have completed their 30 weeks that the budget covered. The partners involved, Positive Directions Trust (as deliverers), New Brighton Project and Christchurch City Council are now planning for the next steps. ŌtautahiNZ have agreed to fund a review of the project so that the feedback can be collected and analysed with recommendations for the next steps.	On-going	New Brighton Safety Initiatives
House of Hoopz – Aranui	Governance staff worked with Youth and Cultural Development in the early stages of planning for the House of Hoopz Streetball series to advocate for Wainoni Park to be	Completed	Aranui/Wainoni Safety Initiatives

	<p>included as a venue for one of these events.</p> <p>The tournament was held on Saturday 2 March 2024 and attracted a large group of rangatahi and their supporters who gathered to be part of the event.</p>		
New Brighton Mall Developments	<p>Whilst New Brighton is seeing a number of businesses continue to close and an increase in empty buildings, development is starting to happen for the New Brighton Mall area.</p> <p>Martini Investments owned by the Harris family have now purchased twelve New Brighton Mall properties and work has started on developing these.</p> <p>The properties include the premises that Whole Foods and XOXO Cafe were renting. They have both subsequently closed. Stitch-O-Mat were subleasing their space at 68 Hawke Street from Whole Foods but they have had to seek an alternative location as a knock-on effect.</p> <p>The recent purchases are part of a wider plan which also includes Greater New Brighton Community Leadership Group's <i>Village Green Project</i>, funded through a Canterbury Earthquake Appel Trust grant. The <i>Village Green Project</i> intends to use land lease from Martini Investments near the Pierside building. The group will be able to give an update on plans soon.</p>		New Brighton Mall
Woolston Well-Being Network	Working with Woolston Development Project, Governance Staff have initiated a Woolston Well-Being Network. The aim of the network is to bring together stakeholders from the Woolston	On-going	Woolston Village Safety Initiatives

	<p>suburb to continue the kōrero around Woolston safety initiatives.</p> <p>An inaugural hui was held on 21 February, hosted by Woolston Development Project.</p> <p>The network is intended to be an informal monthly hui, where interested parties can attend and offer their whakaaro and ideas on what they'd like to see for their community. The network will meet on the second Thursday of every month starting from 11 April.</p>		
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3.2 Community Funding Summary

3.2.1 For the Board's information, a summary is provided (refer **Attachment A**) on the status of the Board's 2023-24 funding as at 18 March 2024.

3.2.2 Youth Development Fund

Board members with the delegation for the Waitai Coastal-Burwood-Linwood Community Board Youth Development Fund (Jo Zervos, Greg Mitchell and Paul McMahon) made one decision under delegation:

- A grant of \$150 from the 2023-24 Waitai Coastal-Burwood-Linwood Youth Development Fund to Tiaki Wikatene to attend the National District 9's tournament in Auckland as a member of the Under 16 Canterbury League 9's Squad.

3.2.3 Koru Fund

Board members with the delegation for the Waitai Coastal-Burwood-Linwood Community Board Koru Fund (Alex Hewison, Tim Baker, Jackie Simons) made one decision under delegation:

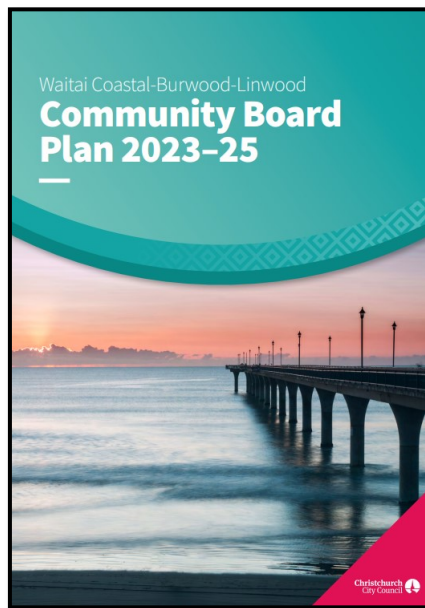
- A grant of \$500 from its 2023-24 Koru Fund to Parklands United Sport Club to deliver a Community Sports Taster Event for local Tamariki.

3.3 Participation in and Contribution to Decision Making

3.3.1 Report back on other Activities contributing to Community Board Plan [for items not included in the above table but are included in Community Board Plan]

- Community Board Plan

The monitoring report on the Waitai Coastal-Burwood-Linwood Community Board Plan 2023-25 is attached (refer **Attachment B**).



- House of Hoopz – Aranui**

The next in the series of House of Hoopz was held in Aranui on Saturday 2 March 2024. Delivered by Youth and Cultural Development, the 3-on-3 street ball series has been a huge success so far, with lots of teams from other areas coming to check out their competition across the city.

The Hoopz series is aimed at giving rangatahi who have never had a chance to join a team or play competitively a chance to compete in a tournament and test their skills against other players their age. The partners involved have reported back how much raw talent they've seen in the players showing up to each one who have never had any coaching or formal playing experience.

The next in the series is on Saturday 22 March 2024 at Te Waka Unua followed by the grand final at New Brighton on the Saturday 30 March 2024.



- Farewell to the Godwits**

On Sunday 10 March the Avon-Heathcote Estuary Ihutai Trust held their annual ceremony to farewell the Godwits as they head back to their breeding grounds in Alaska. The event had a massive turn-out and included free BBQ and drinks, information on the Ihutai and its bird species, music and then a short walk to view

the Godwits taking off. The event was organised and delivered in partnership with Southshore Residents' Association and Council Parks staff.



Item 18

- **Fresh Pool Party**

Another successful FRESH Pool party was held at Te Pou Toetoe on Friday 1 March 2024 by the team at Youth and Cultural Development (YCD). This was the second pool party of the year and having now secured enough funding to deliver the whole series, these events will take place on the last Friday of every month all year.

The FRESH Pool parties are a part of YCD's commitment to revitalising the youth scene for Ōtautahi. They strongly advocated for regular events and have worked with Community Governance and Sport and Recreation staff at Council to ensure they can provide consistent high quality and a great experience every time for rangatahi.

The numbers of young people showing up each event and coming back time and time again is testament to their mahi and commitment to providing positive activities and engagement for rangatahi in the East.



- **Elevate Youth Hui**

The first Elevate Youth Hui of 2024 was held on Friday 15 March 2024 in New Brighton. Representatives from 8 organisations who work with Rangatahi. The Hui was an opportunity for these groups to engage with Christchurch City Council Staff regarding the Long-Term Plan Submission process and as a collective discuss ways to increase the number of submissions from both Youth Organisations and their Youth Advisory groups from across the East.



- **Kawai Rangatahi Wheels of Opportunity Breakfast Hui**

On Friday 15 March 2024 Kawai Rangatahi held their Wheels of Opportunity Breakfast Hui to share their vision for creating a mobile youth centre for the Linwood and surrounding communities. This Hui was an opportunity to share the roadmap to completion of the project with potential funders and supporters of the project along with giving anyone passing by the chance to look through the bus the group has acquired for the project.



- **Climate Action Campus**

On Monday 25 March 2024, the Board went for a site visit to the Climate Action Campus. The Board was welcomed by Vicki Buck and Rachel Cummins who took the Board on a tour of the site.



Student artist: Piece called enough is enough, consume carefully

- **Brooklands Lagoon Restoration update**

Regional Parks are into their third year of the restoration program that includes pest plant control around the margins of the lagoon for Willow, Silver Poplar, Wilding Pines, Pampas, Gorse and Broom. The Christchurch City Council ranger for Brooklands along with the *Jobs for Nature* team of five rangers have made significant progress getting on top of some significant infestations of invasive weeds that threaten this coastal environment.

The team are heading into their third planting season this winter and building on work started near Earlham Street, Beacon Street, Harbour Road and at the Southern end of the Lagoon near Heyders Road.



The team have also installed some areas of fencing along the Lagoon Track where bikes and horses were having an impact on some of the low-lying tidal edges of the Lagoon. They've seen some great results with natural recovery and in a short amount of time seen threatened plant species colonise those areas that have been fenced off.

New the wayfinding signage of the Lagoon track and also the Waimakariri (Brooklands Spit) track. Pulling out the old signs and defining the routes for pedestrians, cyclists and horses more clearly has been a big help with managing the use of the track.

New entranceway panel signs and an interpretation sign at the start of the track have also been installed which was more clearly defined just after at the turn off to Adrenaline Forest from Heyders Road with a new parking layby that was created. These improvements for better wayfinding signage was something that the community had requested as part of the Brooklands Community Led-Action plan.



3.3.2 Council Engagement and Consultation.

Topic	Date	Link
Draft Long Term Plan 2024-2034	Open for feedback until Sunday 21 April 2024	https://letstalk.ccc.govt.nz/draft-ltp-2024-2034
Ōtākaro Avon Stormwater Management Plan	Open for feedback until Monday 22 April 2024	https://letstalk.ccc.govt.nz/otakaro-avon-stormwater-management-plan
Aranui Streets Project	Open for feedback until Monday 15 April 2024	https://letstalk.ccc.govt.nz/AranuiStreets
Tree Planting Plans	Open for feedback until Tuesday 9 April 2024	https://letstalk.ccc.govt.nz/treeplantingplans

Item 18

- **Dallington Drop-in**

Our Residential Red Zone and Engagement teams struck a chord at a community drop-in on Saturday 9 March 2024 when they met with local residents to share information about the Ōtākaro Avon River Corridor projects at a drop-in at the Dallington landing. Staff discussed the City to Sea Pathway route, new road crossings that are currently out for consultation, updated plans for Kerrs Reach, and plans for Avon Park. Across the session 40 to 50 people dropped in and had lots of interesting conversations with residents providing staff with valuable feedback, insights and questions.



4. Advice Provided to the Community Board Ngā Kupu Tohutohu ka hoatu ki te Poari Hapori

4.1 Customer Service Request/Hybris Report

For the Board's information, attached is a copy of the February 2024 Hybris Report (refer **Attachment C**). It is noted that there were around 500 less tickets than last month for Coastal-Burwood-Linwood but water supply is still high for Linwood.

4.2 Linwood Avenue Slip Lane





For the Board's information, attached is a staff memorandum in relation to the Linwood Avenue Slip Lane CRAF project (refer **Attachment D**).

4.3 Organics Processing Facility

At the last Community Liaison Group meeting, the community had requested a timeline showing how the new Ōtautahi Christchurch organics processing facility in Hornby will develop:

- **December 2023**
The Council awards the contract for the new plant to Ecogas.
- **January to July 2024**
Preparation of design and consent application.
- **July 2024**
Resource consents lodged.
- **September to December 2024**
Tender for construction goes out.
- **February to November 2025**
Construction.
- **February to May 2026**
Equipment installed.
- **May 2026**
New facility commissioned.
- **June 2026**
New facility starts processing organics.
- **December 2026**
The new facility is fully operational.

Attachments Ngā Tāpirihanga

No.	Title	Reference	Page
A 	Waitai Coastal-Burwood-Linwood Community Board Funding Update as at 18 March 2024	24/444443	139
B 	Waitai Coastal-Burwood-Linwood Community Board Plan - Monitoring Report April 2024	24/505628	142
C 	Waitai Coastal-Burwood-Linwood Community Board - Hybris Report - February 2024	24/444227	157
D 	Waitai Coastal-Burwood-Linwood Community Board - Staff Memorandum - Linwood Avenue Slip Lane	24/444228	158

Signatories Ngā Kaiwaitohu

Authors	
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Waitai Coastal-Burwood-Linwood 2023-24 Community Board Funds - Updated as at:		
Waitai Coastal-Burwood-Linwood Discretionary Response Fund	Allocation 2023-24	Board Approval
DRF Carry Forward		
Transfer from SCF (\$714,466 start balance less \$632,350 granted)	\$82,116.00	07.08.23
The Bridge South Brighton Trust - Facility Manager Wages	(\$2,000.00)	07.08.23
New Brighton Surf Life Saving Club - Junior Lifeguard Development Boards	(\$1,000.00)	07.08.23
North Wai Boardriders (1965) Inc - North Wai Surf/Skate Holiday Programme 2023	(\$1,000.00)	07.08.23
Establish the Waitai Coastal-Burwood-Linwood Youth Development Fund	(\$6,000.00)	07.08.23
Establish the Waitai Coastal-Burwood-Linwood Anzac Day Expenses Fund	(\$500.00)	07.08.23
Establish the Waitai Coastal-Burwood-Linwood Koru Fund	(\$5,000.00)	07.08.23
Establish the Waitai Coastal-Burwood-Linwood Summer with Your Neighbours Fund	(\$4,500.00)	07.08.23
Costs towards Parklands @ Play 2024	(\$5,000.00)	07.08.23
Costs towards I Love Brighton 2024	(\$6,000.00)	07.08.23
Waitai Coastal-Burwood-Linwood Community Board Events (Community Garden Pride Awards, Edible and Sustainable Garden Awards and Community Service and Youth Service Awards) for 2024	(\$10,000.00)	07.08.23
Canterbury Golf Inc - FRESH Driving Range Takeover	(\$600.00)	11.09.23
Champ Nation Youth Academy Inc - salaries	(\$750.00)	11.09.23
Lions Community Sports & Education Trust - SAS Australasian Slam in Auckland (representing ChCh) 21-23 Oct 2023	(\$1,000.00)	11.09.23
Spencerville Residents Assn Inc - Styx Post Community Newsletter Printing	(\$1,800.00)	09.10.23
Community Fridge & Pantry New Brighton - Costs of the weekly food parcels from Foodbank Canterbury	(\$2,000.00)	09.10.23
Te Kupenga o Aranui - Rent/venue hire	(\$4,000.00)	06.11.2023
Burwood Pegasus Community Watch - Watch Uniforms	(\$3,310.00)	06.11.2023
Youth Development Fund	(\$2,500.00)	06.11.2023
St John the Evangelist, Woolston towards the costs of the weekly food parcels from Foodbank Canterbury	(\$1,440.00)	11.12.2023
Strengthening Linwood Trust - Linwood Youth Development Salaries and Wages	(\$5,000.00)	12.02.2024
Faye White - Rose Mosaic Memorial	(\$1,000.00)	12.02.2024
Brighton Gallery Trust - Pop-Up Gallery	(\$6,000.00)	12.02.2024
Eastern Eagles Rugby League Incorporated - Eastern Eagles Youth/Junior Development project.	(\$5,000.00)	11.03.2024
Available Balance	\$6,716.00	
Waitai Coastal-Burwood-Linwood Youth Development Fund	Allocation 2023-24	Approval
Establishment of the 2023-24 Youth Development Fund	\$6,000.00	7.08.23
Carlos Colville - Shirley Boys' High School Senior Touch team, in the New Zealand Secondary Schools' Touch Nationals in Rotorua from 7 to 11 Dec 2023.	-\$200.00	14.08.23
Jack Gibbs, Aidynn Miles & Sean Ison - New Zealand Scout Jamboree in Hamilton (\$200 for each youth)	-\$600.00	14.08.23
Emily Molioo - National Youth Tournament to represent the South Island Scorpions 16s team, 27 - 29 Sep 2023 in Rotorua	-\$200.00	14.08.23
Lennox Tuiloma - National Youth Tournament to represent the South Island Scorpions 16s team, 27 - 29 Sep 2023 in Rotorua	-\$200.00	14.08.23
Dakota Kakoi - National Youth Tournament to represent the South Island Scorpions 16s team, 27 - 29 Sep 2023 in Rotorua	-\$200.00	14.08.23

Millie Rachel Lamond Aird - to attend the 2023 She Shines On Dance Tour from 20 September 2023 in Los Angeles, United States	-\$350.00	23.08.23
Genesis Ah Kam-Sherlock - to represent South Island Tau Tag at the International Teuila World Club Series held in Apia, Samoa on the 8 Sept 2023.	-\$400.00	23.08.23
Rhiley Mouat-Neri - International Teuila World Club Series, to represent Canterbury to play in the international Teuila Tag games in Apia, Samoa on 08-09 Sep 2023	-\$400.00	23.08.23
Scarlett Amos - to represent New Zealand at the Junior World Indoor Cricket Series in Dubai, UAE	-\$500.00	23.08.23
Grace Chamberlain - AIMS Games in Tauranga, 03-08 Sep 2023	-\$200.00	28.08.23
Breyah Takitimu - to attend the Joffrey Ballet school in Chicago, United States from 23 September to 24 May 2024	-\$500.00	31.08.23
Ezrah Molioo - to represent the Under 16 South Island Scorpions in the National Rugby League Youth Tournament at Puketawhero in Rotorua, 24-26 Sep 2023.	-\$200.00	01.09.23
Bethany Andrew - NZCAF Aerobics National Competition in WLG, 16-17 Sep 2023	-\$150.00	07.09.23
Brooklyn Schreiner - Scout Jamboree in Mystery Creek, Hamilton 30 Dec 2023 - 07 Jan 2024	-\$200.00	21.09.23
Bowen Abraham - Oceania Champs NZ U18s Canoe Polo Team in Hastings, Hawke's Bay 6-10 Dec 2023	-\$200.00	21.09.23
Arnika-Rose Gread-Robinson - 16th Girls South Island Tournament in Dunedin, 02-04 Oct 2023	-\$200.00	21.09.23
Group YDF (Grace Ellen Rose Olliver & Lucia Caitlin Olliver) - She Shines on Dance Tour (\$400 - \$200/each) Anna Lee School of Dance	-\$400.00	13.10.23
Reuben Brown - Oceania Champs NZ U21B Canoe Polo Team in Hastings, Hawke's Bay 6-10 Dec 2023	-\$200.00	13.10.23
Ella Frances Miliama Bussey-Timo - Pacific Games in Solomon Islands - Open Women's and Mixed Touch teams, 27 Nov -- 02 Dec 2023	-\$300.00	02.11.23
YDF Top Up from DRF	\$2,500.00	06.11.2023
Sho Woodhouse - To attend the National Youth Brass Band training course in Wellington from the 14th to 20th January	-\$150.00	22.11.23
Jaeda Lynch- Brown - To attend the South Islands Te Wai Pounamu Inter Provincial Series – 16th & 17th December 2023 at Burnside Park. Junior Nationals – 2nd-4th February 2024 – Bruce Pulman Park, Auckland (We will be departing on the 1st and returning on the 5th	-\$150.00	15.12.2023
Royal Harroway - To attend a dance in a competition in Australia called (Evolution dance competition)on the Gold Coast	-\$150.00	15.01.2024
Kyla Lynch-Brown - to the attend the Touch NZ National Championships travelling to Rotorua as part of the Canterbury U21 Mixed Touch team	-\$150.00	23.01.2024
Tiaki Wikatene - To compete in the National District 9's tournament in Auckland as a member of the Un16 Canterbury League 9's squad.	-\$150.00	03.03.2024
Youth Development Fund Available Balance	\$2,150.00	
Koru Fund	Allocation 2023-24	Approval
Allocated funds	\$5,000.00	7.08.23
Biological Husbandry Unit Organics Trust - Climate Action Campus for Earth Week Market Day	-\$500.00	17.08.23
Mitchell Reid - Mural to Promote Community Gardens in the Area	-\$300.00	25.10.23
Avonside Early Childhood Centre - Trip to Botanic Gardens for Tamariki & Whanau		
Eastern Eagles Rugby League Development Camp - 25&26 November (P-card Pakn Save Voucher)	-\$500.00	21.11.23
Linwood Community Gardens - Chicken Run	-\$490.00	23.01.24
Mitchell Reid - Mural 10 Bower Ave New Brighton	-\$500.00	25.01.24
Brighton Gallery Trust - Youth Led Engagement	-\$500.00	09.02.24
Parklands United Sports Club - Sports Taster Event	-\$500.00	13.03.24

Koru Fund Available Balance	\$1,710.00	
Better Off Funding	Allocation 2023-24	Approval
Allocated funds	\$500,000.00	
Waitai Coastal-Burwood-Linwood Community Governance Team towards the Waitai Youth Board Project	(\$30,000.00)	11.12.2023
Better Off Fund Balance	\$470,000.00	

Waitai Coastal-Burwood-Linwood Community Board Plan 2022-25 – Monitoring Report – April 2024

Priority: Earthquake Legacy and Transport Projects: Southshore Estuary Edge, QEII Masterplan, Christchurch Regeneration Acceleration Facility and Pages Road Bridge		
What the Board will do	Measures of Success	Progress to date/actions taken
<ul style="list-style-type: none">Advocate for funding to remain in the Long Term Plan to see the Southshore Estuary Edge project completed and for the preservation and enhancement of the Ihutai (Estuary) as an environmental taonga.Collaborate with staff, the community and mana whenua on progressing the Southshore Estuary Edge project through the resource consent process and in the ongoing preservation and enhancement of the Ihutai.Advocate for progress on the QEII Masterplan including bringing forward funding where possible to see some projects completed in the next financial year.Advocate for the Pages Road Bridge project to be completed as soon as possible and that funding remain in the Long Term Plan to achieve this.Advocate for the best solution for the future of New Brighton Road.Advocate for planning for Natural Hazards, climate change adaptation and Tsunami Evacuation with prioritisation of delivery of key infrastructure.Advocate for progress on the CRAF and CERF funded projects in the board area, e.g. Linwood, Woolston, Bromley, and New Brighton.Advocate for delivery of Ōtākaro Avon Major Cycleway Route as a key priority and with no delays.	<ul style="list-style-type: none">Ensure that the matter is included in community board submissions to appropriate consultations.Receive regular briefings and updates on progress of these key projects.Ensuring \$100k for planning of Ōtākaro Avon Cycleway is back on the Council budget.See works begin on the ground.	<p>March 2024 The Board will be reminded during its preparation of a Long Term Plan Submission to advocate for: Funding to remain to see the Southshore Estuary Edge project completed, for progress on the QEII Masterplan, for the Pages Road Bridge project to be completed as soon as possible, for planning for natural hazards, climate change adaption and Tsunami evacuation and for delivery of the Ōtākaro Avon Major Cycleway Route</p> <p>September 2023 - Advocate for progress on the QEII Masterplan including bringing forward funding where possible to see some projects completed in the next financial year. The Community Board made a submission to the 2023/24 Annual Plan regarding QEII Masterplan – “The Board supports the implementation of the plan and would like to prioritise the playground and number 2 carpark” Governance staff organised a Briefing from the Parks Unit which was scheduled for 28 September 2023. This briefing provided the Community Board with the relevant information for advocacy during the Long Term Plan Submission period.</p> <p>September 2023 – Advocate for the Pages Road Bridge Project to be completed as soon as possible and that funding remain in the Long Term Plan to achieve this: A series of meetings were held with the Engagement Advisor assigned to the Pages Road Bridge project to ensure that they had a comprehensive list of stakeholders, and no one had been missed. The consultation was held from 31 July to 28 August 2023. The feedback is currently being collated by the Engagement Team and will be available for the Hearings Panel in October or November 2023.</p> <p>The Community Board also made a submission (21 August 2023) to advocate for the project to be completed as soon as possible.</p> <p>September 2023 - Advocate for progress on the CRAF and CERF funded projects in the board area, e.g. Linwood, Woolston, Bromley, and New Brighton. The Community Board made a submission on the Way Safer Streets Projects (7 Linwood CERF projects) on 11 July 2023. The hearing of submissions took place on 21 and 22 September 2023.</p> <p>The Community Board received an update briefing on the New Brighton CRAF Project on 11 September and another briefing has been scheduled for 6 December 2023.</p>

Priority: Improve Access to Burwood Community Facilities		
What the Board will do	Measures of Success	Progress to date/actions taken
<p>There are two opportunities to improve access to community-led facilities in the Burwood Ward:</p> <ul style="list-style-type: none">The community board will support All Saints in progressing their community facility to completion as this project is in an advanced state.The community board will support Marshlands Hall Trust in progressing their community facility in the Prestons area.	<ul style="list-style-type: none">Seeing the All Saints Community Facility completed.Support the Marshlands Hall Trust to progress towards commencing a community facility in the Prestons area.	<p>March 2024 - The community board will support All Saints in progressing their community facility to completion as this project is in an advanced state. Construction of the Facility continues to progress towards completion at the end of 2024. The former foundry building is now in position and work is beginning on the framing for the remainder of the building. Staff are investigating funding options to support the completion of outdoor community spaces as part of the project.</p> <p>March 2024 - The community board will support Marshlands Hall Trust in progressing their community facility in the Prestons area. Staff continue to support the trust in sourcing funding to continue the operation of the Annual Marshlands Community Day as well as other community awareness projects. In addition, support is being given to resourcing a business case for the facility to enable the trust to source other financial support from community or philanthropic funders. As part of the draft Long-Term Plan (LTP) adopted by council there currently is approximately \$3,500,000 allocated across 2032 and 2033 to design and build a new Community Centre for the Preston's/Marshland community. As this is still in draft phase it is subject to consultation to be adopted into the LTP for 2024-34.</p> <p>September 2023 - The community board will support All Saints in progressing their community facility to completion as this project is in an advanced state. All Saints Construction has begun with site works underway. Staff are working with All Saints to source funding to support the completion of the outdoor community space.</p> <p>September 2023 - The community board will support Marshlands Hall Trust in progressing their community facility in the Prestons area. -Staff are supporting the Marshlands Hall Trust to grow their community awareness and impact work through funding guidance for the Annual Marshlands Community Day.</p>

Priority: Support the Bromley Traffic Project		
What the Board will do	Measures of Success	Progress to date/actions taken
<ul style="list-style-type: none">Continue to advocate for improvements in the Bromley area, including speed reduction, enhanced monitoring and quality control, street planting and visual appeal.Advocate for an increase in maintenance to pre-quake levels.Encourage citizen participation in decision making and practical projects.Advocate for improved public transport service in Bromley.In preparation for the LTP, seek to learn lessons from Bromley to apply to other areas (e.g. North Linwood).Advocate for and support measures to reduce heavy vehicle traffic on residential streets.	<ul style="list-style-type: none">The Local Area Traffic Management Plan is reviewed and outstanding items incorporated into an implementation plan that deals with current issues.Traffic speed in Bromley reduced.Resident surveys indicate that local wellbeing and happiness have improved.Increased collaboration with Waka Kotahi/NZTA, ECan and other agencies.	<p>March 2024 The Board will be reminded during its preparation of a Long Term Plan Submission to advocate for an increase in maintenance to pre-quake levels.</p> <p>March 2024 - Continue to advocate for improvements in the Bromley area, including speed reduction, enhanced monitoring and quality control, street planting and visual appeal and to advocate for an increase in maintenance to pre-quake levels.</p> <p>Due to changes in govt funding all of the CERF (Transport Choices) projects are currently being put on hold, this includes the CERF which funded part of Improving Bromley Roads project. Currently there is still a portion of the project which is fully funded through Council and is continuing.</p> <p>Governance team staff supported Parks staff and the Bromley Community Centre in running a several community planting days as part of the school holiday programme at the Centre. This project saw the entire fence line between Bromley part and a new storage unit facility planted with various species which over time will create a natural visual and sound barrier between the Park and industrial areas.</p> <p>March 2024 - Encourage citizen participation in decision making and practical projects.</p> <p>Governance Team Staff in collaboration with other CCC staff and external partners such as Te Whatu Ora – Health New Zealand Waitaha Canterbury to continue to provide platforms and opportunities for community to be engaged and participate in the decision-making process. Governance Team staff continue to have a strong working relationship with the Bromley Community Centre Board and Staff ensuring it remains aware and involved in processes where possible.</p> <p>September 2023 - Continue to advocate for improvements in the Bromley area, including speed reduction, enhanced monitoring and quality control, street planting and visual appeal and to advocate for an increase in maintenance to pre-quake levels.</p> <p>Relationship/Interactions have improved with Waka Kotahi/NZTA through Briefings to the Community Board allowing the platform for continued advocacy for Traffic Lights at Maces Rd/Dyers Rd Intersection. Consultations/hearings in relation to the Traffic planning for roading improvements (CERF projects) in the Bromley area have been undertaken. Currently awaiting Council decision on the final designs, local community will be updated following this decision. As mentioned in priority - Earthquake Legacy and Transport Projects: Southshore Estuary Edge, QEII Masterplan, Christchurch Regeneration Acceleration Facility and Pages Road Bridge, the Community Board made a submission on the CERF projects.</p> <p>Council Staff have been working with the Bromley Community Centre to run several community Planting days in the park areas around the centre, with subsequent maintenance days planned to ensure the upkeep and visual appeal in maximised.</p>

Priority: New Brighton Mall		
What the Board will do	Measures of Success	Progress to date/actions taken
<ul style="list-style-type: none">Support progression of the New Brighton Master Plan.Support funding to be brought forward from the LTP to make improvements to the New Brighton Public Realm to align with other planned works in 2023 and beyond.Support the progression of the Oram Avenue extension, including investigation of all options.Advocate for incentives for landowners to care for their derelict premises and sites, and find solutions to get them repaired and leased; support extension of the City Vacant Differential rate to the New Brighton mall by July 2024, or earlier if possible.Support delivery of Canterbury Earthquake Appeal Trust (CEAT) project and activation of the Mall through funding for local events.Advocate for improved amenities to improve safety, accessibility and public perception of the mall.Collaborate with the community, in the development and implementation of a localised Food Resilience Action Plan.	<ul style="list-style-type: none">Ensure that these matters are included in community board submissions to appropriate consultations.Receive regular briefings and updates on progress of these key projects with clear timelines and deliverables.Collaborate with key stakeholders, local businesses, community, CEAT Community Leadership Group, and council to deliver upgrade of the mall.Ensuring funding is on budget in the LTP to prioritise delivery of all stages of New Brighton Master Plan.See works begin on the ground.	<p>March 2024 The Board will be reminded during its preparation of a Long Term Plan Submission to advocate for: Progression of the New Brighton Masterplan, funding to be brought forward to make improvements to the New Brighton Public Realm to align with other planned works, the progression of the Oram Avenue extension, incentives for landowners to care for their derelict premises and sites, the extension of the City Vacant Differential Rate to the New Brighton mall by July 2024.</p> <p>March 2024 <u>ORAM Avenue</u> Demolition of the former Westpac building is now complete. The Driftwood Council of Brighton are taking this on as one of their projects, working alongside ChristchurchNZ and Council supporting some temporary activations to brighten up the space until the corridor can be completed.</p> <p><u>CEAT Funding</u> Representatives Community Leadership Group made a presentation to the Community Board on the 23 February 2023. They have since been meeting every two weeks, discussing options with the landowner and working with the designers on the concept design, making the changes community feedback has offered. The CLG anticipate they will be able to release the final design within the next couple of months.</p> <p><u>New Brighton Mall</u> Martini Investments owned by the Harris family have now purchased twelve New Brighton Mall properties and work has started on developing these. Whilst this has seen the closure of more businesses namely WholeFoods and XOXO Cafe leaving more shops derelict, work has started on developing these with refurbishment of a number of shops already underway. The investors are actively working with Greater New Brighton to integrate the Village Green project the Community Leadership Group are focusing the CEAT funding on.</p> <p>The Community Board continue to support New Brighton Project through their Strengthening Communities Fund to run the popular Seaside Market every Saturday which activates the Mall area and supports local businesses, artists and performers by attracting in large crowds, boosting economic activity for Brighton’s CBD. The Board also supported Stitch-O-Mat and Brighton Gallery Trust with funding which has allowed them to continue renting their respective shops within Brighton Mall and activate what would otherwise be empty derelict premises.</p> <p><u>Food Resilience</u> Renew Brighton launched Te Pēke Kai in September 2023. This is an initiative aimed at addressing challenge to food security due to the increasing food prices and cost of living. Te Pēke Kai sources produce from local growers to sell at as low a price as possible to community. After their initiate launch the initiative has been review and made some adjustments to how they run operationally based on feedback from the community. Te Pēke Kai now has two local pick-up points, central New Brighton and their newest location at Common Ground in South Brighton.</p> <p>The Community Board gave support through a grant to New Brighton Community Fridge and Pantry in September to enable the group to weather firstly the newly introduced fees and then change of supplier after FoodBank Canterbury disestablished. Whilst the Pantry address the more acute needs in the community for kai, they are also an integral part of the food resilience action plan for Greater Brighton.</p> <p>The Biological Husbandry Trust continue to employ their Whānau Ora kaimahi who has been working with families in the East, several from New Brighton to help them establish their own garden beds, grow and harvest food and connect with other household nearby to collaborate on what they grow, swapping excess and seeds. Positive</p>

		<p>Directions Trust are also providing this hands-on approach to addressing kai security having teamed up with New Brighton Community Gardens to offer their Māra Kai project, a service which provides a starter kit to grow your own vegetable garden.</p> <p>September 2023 – Support the progression of the Oram Avenue extension, including investigation of all options. Governance Staff have met with the Project Manager and New Brighton Project incorporated to give some guidance as to how the demolition of the Westpac building will impact the Seaside Market. New Brighton Project now have the information they need to adapt their market lay-out to accommodate the cordons which will impinge on the pavement area directly outside of the Westpac building. The project team are hoping to have the demolition completed in time for the Santa Parade in December 2023.</p> <p>The Community Board have received a memorandum (a copy of which is attached to the 9 October 2023 Area Report) and an additional update provided on 19 September 2023 advising that the demolition will commence on 25 September and it is anticipated to be completed by 1 December 2023.</p> <p>September 2023 – Advocate for incentives for landowners to care for their derelict premises and sites, and find solutions to get them repaired and leased; support extension of the City Vacant Differential rate to the New Brighton mall by July 2024, or earlier if possible. The New Brighton Project have been proactive in reporting on specific derelict buildings that are posing a safety risk along Brighton Mall. Staff have encouraged them to use the Snap Send Solve app to keep reporting on it to raise awareness of the risk caused by mall buildings falling into disrepair.</p> <p>September 2023 - Collaborate with the community, in the development and implementation of a localised Food Resilience Action Plan. ReNew Brighton presented to the Community Board on 11 September around their research into kai security. From this data collected ReNew are trialling a pop-up grocery shop aiming to sell affordable vegetables and other products at 20% less than the cost at supermarkets. The shop is due to be launched on 23 September 2023.</p>
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Priority: Infrastructure / Roding Levels of Service Improved to see issues with roads, footpaths, stormwater and flooding addressed in the board area		
What the Board will do	Measures of Success	Progress to date/actions taken
<ul style="list-style-type: none">Advocate during the Long Term Plan process for improvements to the levels of service in the board area.Prioritise repairs to key infrastructure, wastewater and stormwater systems and drainage, flood mitigation works, pump stations and stormwater pipes to improve resilience.Encourage community submissions to the Long Term Plan and Annual Plan processes.Encourage and educate the community on the use of the Snap, Send, Solve app for repairs and maintenance.Support better strategic planning coordination of work programmes across transport, three waters and parks to ensure efficient delivery and to minimise disruption to community.Advocate for an equity lens to ensure adequate funding to build resilience within all of our communities.Advocate for Council funding and subsidies for green infrastructure including permeable pavements, rain gardens, gray water reuse, rainwater capture, etc. to help mitigate impacts on households and whānau.Advocate for completion of CRAF, CERF and Aranui Streets for People projects.Advocate for the resolution and relief of flooding issues in areas where there are particular challenges, e.g. Avondale, New Brighton, and Woolston.	<ul style="list-style-type: none">Ensure that the matter is included in community board submissions to appropriate consultations.Monitor regular Hybris reporting in the monthly Community Board Area Report.Increased number of tickets generated and issues resolved through use of the app.Improved resident's satisfaction through the annual survey within the board area.	<p>March 2024 The Board will be reminded during its preparation of a Long Term Plan Submission to advocate for: Improvements to the levels of service in the Board area, an equity lens to ensure adequate funding to build resilience within all our communities, council funding and subsidies for green infrastructure, resolutions and relief of flooding issues in areas where there are particular challenges.</p> <p>March 2024 - Advocate for completion of CRAF, CERF and Aranui Streets for People projects. Due to changes in govt funding all of the CERF (Transport Choices) projects are currently being put on hold, this includes the CERF.</p> <p>The Aranui Streets for people project is currently in its final installation phase after an amended trial proposal was approved by the Community Board in December 2023. Since implementation there has been alterations made to the initial installation because of community feedback. Consultation will remain open throughout the trial phase with design changes able to be made based on the feedback received throughout the trial phase.</p> <p>March 2024 - Encourage and educate the community on the use of the Snap, Send, Solve app for repairs and maintenance. Staff attended the 2023 Affirm event, promoting several council initiatives and projects including the Snap, Send, Solve app. As part of the Aranui Streets for People project, staff are investigating ways to promote the use of snap send solve across the Aranui Community through various methods which could include signage/wayfinding and street/pathway art.</p> <p>March 2024 - Encourage community submissions to the Long-Term Plan and Annual Plan processes At the March Elevate Youth Hui staff arranged for Council engagement team staff to attend and present on the long-term plan submission and engagement process. Representatives from 8 organisations who work with Rangatahi attended. The Hui was an opportunity for these groups to engage with Christchurch City Council Staff regarding the Long-Term Plan Submission process and as a collective discuss ways to increase the number of submissions from both Youth Organisations and their Youth Advisory groups from across the East.</p> <p>September 2023 - Advocate for completion of CRAF, CERF and Aranui Streets for People projects. The Streets for People – Aranui Connections delivery timeframes have been updated to better align with the 2023/24 summer school holidays. After the three design Jam sessions held with local school students from Haeata Community Campus, St James School and Chisnalwood Intermediate, community consultation will now be conducted during a single one-month pre-trial period. Approval from the Community Board to proceed with the project will be sought in late October. The project will be rolled out as a three-month trial, with monthly checkpoints on public feedback and changes made accordingly. A final recommendation on whether changes should remain will be made to the Community Board in June 2024.</p> <p>September 2023 - Encourage and educate the community on the use of the Snap, Send, Solve app for repairs and maintenance. The Community Board continue to receive monthly Hybris reports and Governance Staff have scheduled a briefing with staff on 26 October 2023 to discuss the Hybris reports and to have a better understanding of the statistics provided.</p>

Priority: Enhancing Environmental Wellbeing		
What the Board will do	Measures of Success	Progress to date/actions taken
<ul style="list-style-type: none">The board will strongly advocate for the Organics Processing Plant to be relocated as per the decision made in principle by the Council.The board will continue to advocate for the repairs to the Waste Water Treatment Plant to ensure the plant is resilient and does not continue to produce odours that impact on the community.The board will continue to work with ECan to improve monitoring of odours, noise, air and water quality in the East.The board will continue to advocate for a timely resolution to the issues impacting the community from the industrial-residential fringe and for any needed planning changes needed to land use rules.Improving health of our waterways, is a top priority focused on restoration and improving habitats for indigenous plants, animals and mahinga kai/mahika kai.Support protection of the Avon-Heathcote Estuary Ihutai (the Estuary) as a top priority.Supporting the Opawaho/Heathcote River by advocating for the implementation of the Lower Heathcote Ōpāwaho River Guidance Plan.Raising awareness and supporting enhancement of the Pūharakekenui (Styx) River catchment and its environs including its ecology, drainage, landscape, culture, heritage and recreation values.Support delivery of the Ōtākaro Avon River Corridor Regeneration Plan acknowledging the significant opportunity it plays by enhancing positive community wellbeing, building connection and improving resilience.	<ul style="list-style-type: none">Funds being retained on budget for the Organics Processing Plant to be relocated.Receiving regular updates and information on the progress being made at the Waste Water Treatment Plant.Funds being allocated specifically towards projects detailed in the Lower Heathcote Ōpāwaho River Guidance Plan, including through an Activity Management Plan within the LTP.A plan change approved by Council to better regulate/control industrial activities in close proximity to residential areas.Receiving regular monitoring updates from ECan on reported odours etc. in the East.See a decrease in complaints from residents about odour and midge activity.Support funding for a dedicated Estuary/wetland Ranger in recognition of the special ecological values of these areas.Support funding for initiatives to improve health of waterways and biodiversity by reducing contaminants and pollution and reducing sediment in river/wetland environments; increasing riparian planting; prioritisation of delivery of stormwater and flood management basins.Work with community to identify and develop positive social and recreational spaces for the community across the board area.The Estuary is better protected from disturbance from dogs, with better signage and compliance with bylaws.	<p>March 2024</p> <p><u>Organics Processing Plant</u></p> <p>On Wednesday 6 December 2023, the Council approved the establishment of a new organics processing plant, procuring Ecogas as the new long-term organics processor. Councillors also approved a short-term option for managing kerbside organics until the new plant is operational. All kerbside organics are now being processed indoors at the Organics Processing Plant in Bromley and as of 19 January 2024 all material that had previously been stored outdoors was removed clearing the site completely of any compost material.</p> <p>A timeline showing how the new Ōtautahi organics processing facility in Hornby was provided by staff on 21 March. The new facility is expected to be fully operational by December 2026.</p> <p><u>Air Quality</u></p> <p>Community Governance staff have supported the monitoring team in connecting with residents to install a sensor at Mecca Place in Bromley to monitor air quality.</p> <p><u>Pūharakekenui</u></p> <p>With the support in funding received from the Waitai Community Board the Styx Living Laboratory Trust have delivered the following activations, projects and events to raise awareness and supporting enhancement of the Pūharakekenui (Styx) River catchment:</p> <ul style="list-style-type: none">- Styx Trap Library- Underwater Wednesdays- 5 x Working bees to clear invasive weeds and plant native at Christine Heremaia Field Centre and Styx Loops Conservation Reserve- 2 x Bus tours around the middle Styx and Ka Putahi Creek catchment- Produced a quartley newsletter <i>The Styx Pūharakekenui</i> as well as contributed articles of interest to The Styx Post Community Newsletter.- Delivered Educational talks and tours to various organisations including Haka Tours, Marshall Hall Trust- Hosted 5 kura as part of their educational programmes- Planted 4,200 trees in the Pūharakekenui Esplanade Reserve- Fish survey sampling five streams- Hīkoi ki Kā Pūtahi event as part of the 2024 Christchurch Hertiage Festival <p><u>Ōtākaro Ōpāwaho Ihutai</u></p> <p>With funding support from the Community Board the Avon Heathcote Estuary Ihutai Trust have coordinated and/or delivered the following initiates in the Waitai area as part of the 2020-2030 Estuary Managment Plan.</p> <ul style="list-style-type: none">- South New Brighton Park restoration – working bee once a month to plant, mulch, weed and prune along the Ihutai between Bridge Street and the jetty off Beatty Street.- Thistledown Wetland Reserve restoration – volunteers meet every last Saturday of the month to plant, mulch prune and clear the stream.- Annual Farewell to the Godwits ceremony in collaboration with Southshore Residents Association- Mother of All clean-ups – 56 community groups and several kura groups collected 2.3 tonnes of rubbish- Mugford Drain Restoration Project – working with Council rangers, Forest and Bird Youth Club the Trust meet one Saturday each month to work on a 20 hectare section along Anzac Drive that is now part of Bexley Park.

		<p><u>Ōpāwaho</u></p> <p>With funding support from the Community Board the Ōpāwaho Heathcote River Network (ORHN) have coordinated and delivered the following:</p> <ul style="list-style-type: none">- Raised awareness and advocacy on bin behaviour and the opportunities for Council parks to be bin free to change mindsets and move to the Department of Conservation model of “take your litter with you.”- Gathered scientific data and submitted on the environmental impact of operations at Port Link for the awa- Laura Kent Reserve restoration project – working bees the first Saturday of every month- Steamwharfe Stream – working bees the last Saturday of every month <p>September 2023 – The board will strongly advocate for the Organics Processing Plant to be relocated as per the decision made in principle by the Council.</p> <p>The Community Board made a submission to the Council to advocate for the Organics Processing Plant to be moved on 21 September 2023. The Chair and Deputy Chair continue to raise and advocate for this at the monthly Council meetings.</p> <p>September 2023 - Support delivery of the Ōtākaro Avon River Corridor Regeneration Plan acknowledging the significant opportunity it plays by enhancing positive community wellbeing, building connection and improving resilience.</p> <p>The Board have received two briefings regarding significant Ōtākaro Avon River Corridor Regeneration Plan projects including Avon Park redevelopment and Kerrs Reach Activity Zone. 27 planting events totalling 4058 volunteer hours, 29 restoration maintenance events totalling 2379 hours and community garden reported activity has resulted in 2551 volunteer hours having taken place in the Ōtākaro Avon River Corridor between 1 November 2022 and 18 September 2023.</p> <p>September 2023 - Support funding for initiatives to improve health of waterways and biodiversity by reducing contaminants and pollution and reducing sediment in river/wetland environments; increasing riparian planting; prioritisation of delivery of stormwater and flood management basins.</p> <p>The Waitai Community Board supported the following groups with funding through the Strengthening Communities Funding round:</p> <ul style="list-style-type: none">• Avon Heathcote Estuary Ihutai Trust - \$2,000• Styx Living Laboratory Trust - \$2,000• Ōpāwaho Heathcote River Network Incorporated - \$1,750 <p>Two groups were supported through the Council Sustainability Fund with projects in the Ōtākaro Avon River Corridor.</p> <p>September 2023 - Work with community to identify and develop positive social and recreational spaces for the community across the board area.</p> <p>Temporary projects/Activations in the Ōtākaro Avon River Corridor: - New project in Dallington which is a rangatahi led bike building project on Moyna Avenue.</p>
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Priority: New Brighton Safety Initiatives		
What the Board will do	Measures of Success	Progress to date/actions taken
<ul style="list-style-type: none">Advocate for incentives for landowners to care for their derelict premises and find solutions to get them repaired and leased.Support local events aimed at bringing the community together through funding streams.Build relationships with other Government agencies who can offer support services for at-risk tangata in emergency and alternative housing.Support engagement with youth sector in the development of activities and recreational spaces for our tamariki in the mall, and key activity areas across the ward including Parklands.Meet regularly with key agencies to discuss appropriate and timely response to safety issues.Support the re-establishment of the community-led group which supports regeneration of the mall, builds social capital and advocates for businesses and residents in the Greater New Brighton area.Investigate and fund safety initiatives in the New Brighton CBD through environmental design; investigate funding for security patrols; urban design initiatives; provide information, resources and support to local businesses and residents to improve safety.	<ul style="list-style-type: none">A community-led group advocating for the mall, such as a Business, or joint Business and Resident's Association is established and meeting regularly.Wrap-around social services are provided for emergency and alternative housing in the area.Decrease in the amount of derelict buildings in commercial centres of Brighton suburbs.New ideas for local events and activations are funded.	<p>March 2024 <u>Derelict Premises</u> ChristchurchNZ have been working in the area to influence landowners to care for and invest in their properties with limited success. They continue to make this a priority and update Community Governance staff on any movement.</p> <p><u>Local events delivered September - March with support of Board funding</u> Family Fun Night 2023 – Youth Alive Trust New Brighton Community Gardens Annual Fate Rockband EOY bash 2023 – Youth Alive Trust Santa Parade - New Brighton Project Community Carols - Youth Alive Trust I love Brighton & Parklands @ Play – Board projects 50th Anniversary of the 1974 Commonwealth Games Exhibition – New Brighton Museum New Brighton Soup - Driftwood Council of Brighton House of Hoopz – Youth and Cultural Development</p> <p><u>New Brighton Well-Being Hui</u> Organised and hosted by the staff of Christchurch Methodist Mission at New Brighton Union Church the monthly Well-Being hui continue to be well attended and brings together representatives from a range of community organisations, Government Agencies, Community Board Members and Council staff. This hui has been instrumental in generating connections between several key organisations and sharing key information around the new housing in New Brighton and particularly the Kāinga Ora developments.</p> <p><u>Youth Sector Engagement</u> The Community Board successfully put forward a funding application to the Better Off Fund to secure \$30,000 towards the Waitai Youth Board (Rangatahi Changemakers) Project. This will support the establishment of a Local Youth Board known as Changemakers, giving a platform for young people across the east to voice and share their concerns and views on issues facing their communities. Within the allocated funding there is budget to enable the Changemakers to allocate or spend funds on project/events that meet the objectives of their Changemaker Plan or the Waitai Community Board Plan. The group will provide ongoing advice to the Community Board where required ensuring a youth perspective is heard and considered during the decision-making process.</p> <p>Governance staff have continued to hold quarterly ELEVATE network hui which brings together over twenty representatives from a range of organisations from the youth sector and those who provide opportunities for youth engagement and activities.</p> <p>Staff have worked with Youth and Cultural Development (YCD) to develop a series of 3v3 Streetball events across the city. Four of these events were held in the Waitai Community Board area; Linwood, Aranui and Woolston culminating in the final held in New Brighton. The Hoopz series is aimed at giving rangatahi who have never had a chance to join a team or play competitively a chance to compete in a tournament and test their skills against other players their age. The partners involved have reported back how much raw talent they've seen in the players showing up to each one who have never had any coaching or formal playing experience.</p> <p>YCD also deliver the FRESH Pool Parties regularly at Te Pou Toetoe activating not only the pool but the spaces outside the facility and Linwood Park. After the success of their first pool party at He Puna Taimoana for Matariki</p>

		<p>last year YCD are commitment to making this an annual event. Staff are also currently working with YCD to pilot a pool party a Taiora in the coming months.</p> <p>Through their Strengthening Communities 2023-24 Fund the Community Board have supported the following organisations to run youth drop-in sessions, activations and engagement projects across the ward area:</p> <ul style="list-style-type: none">- Crossroads Youth- Kāwai Rangatahi- Youth Town- La Vida Youth Trust- Queenspark Community Trust- Youth Alive Trust- Positive Directions Trust- Legacy Youth- Aranui Bike Fix Up- Linwood Avenue Union Church- Te Kupenga o Aranui- ACTIS- Eastern sports- Sustain Brighton- Christchurch Methodist Mission <p><u>New Brighton Guardians Project</u> The Guardians have completed their 30 weeks that the budget covered. The partners involved, Positive Directions Trust (as deliverers), New Brighton Project and Christchurch City Council are now planning for the next steps.</p> <p>ŌtautahiNZ have agreed to fund a review of the project so that the feedback can be collected and analysed with recommendations for the next steps.</p> <p>September 2023 - Support local events aimed at bringing the community together through funding streams. The Board supported seven groups through Strengthening Community Funding with projects to support engagement with youth in the Brighton/Parklands area.</p> <p>September 2023 - Support engagement with youth sector in the development of activities and recreational spaces for our tamariki in the mall, and key activity areas across the ward including Parklands. Weekly youth drop-in programmes provided in the area including – Youth Alive Trust and Parklands Parkview Lounge drop-in, Eastern Sports – youth drop-in at canopy and La Vida Youth drop-in programme for youth.</p> <p>September 2023 - Support local events aimed at bringing the community together through funding streams. The Waitai Community Board allocated \$6,000 to deliver <i>I Love Brighton</i>, an event aimed at celebrating the coastal Brighton area and brining all of the local group ad organisations together.</p> <p>Through the Koru Fund the Waitai Community Board also supported a community BBQ at Point Break Backpackers, delivered by New Brighton Union Church as a meet and greet to engage with the residents and start a kōrero about what support they might require to help lead healthier and fulfilling lives.</p> <p>September 2023 – Build relationships with other Government agencies who can offer support services for at-risk tangata in emergency and alternative housing. The Well-Being hui continues to be held bi-monthly, hosted by New Brighton Union Church. This is attended by local services and representatives from Government agencies such as Kāinga Ora, NZ Police, Te Tumu Waiora (New Brighton Medical Centre), Ara Poutama Aotearoa (Department of Corrections) and Ministry for Social Development who provide context of the mahi going on behind the scenes in providing transitional and emergency housing, re-</p>
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		<p>introducing offenders into society and working with tangata with mental health issues. The hui is also attended by many of the local community groups who have an interest in helping to make New Brighton safer. The Well-Being hui are proving invaluable to creating connections between local stakeholders and government agencies and generating a greater understanding, and therefore reassurance of the mahi being undertaken to address social issues.</p> <p>September 2023 - Support engagement with youth sector in the development of activities and recreational spaces for our tamariki in the mall, and key activity areas across the ward including Parklands. The Waitai Community Board supported a number of events as part of ELEVATE, Youth Week 2023 in the East. Through the Koru Fund the Community Board were able to support 6 groups to deliver 5 different events for rangatahi across the Coastal ward area as part of Waitai.</p> <p>September 2023 - Investigate and fund safety initiatives in the New Brighton CBD through environmental design; investigate funding for security patrols; urban design initiatives; provide information, resources and support to local businesses and residents to improve safety. \$60,000 in funding was secured through the Capital Endowment Fund to re-establish the <i>New Brighton Guardians</i>. The project involved 2 guardians/ambassadors 'patrolling' in a community support capacity to help create a safe zone for the community to go about their business with the knowledge that support was on hand. The Guardians will be located predominantly around the mall area every Thursday to Sunday from 11am to 6pm offering support and local information to the community. Positive Directions Trust (PDT) who are delivering the project will also have a mobile unit (mobile home) stationed at various places too for the Guardians to have a central location. The project is currently in the first phase, recruiting, training and raising awareness of the Guardians. The Trust aim to have the Guardians on the streets for the start of October. The New Brighton Project are also partners in this venture and will be liaising with PDT, to report back to stakeholders on any outcomes and provide information on the 'hot spots' in New Brighton where the Guardians can have the greatest impact.</p>
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Priority: Aranui / Wainoni Safety Initiatives		
What the Board will do	Measures of Success	Progress to date/actions taken
<ul style="list-style-type: none">Support the activation and community management of the Aranui-Wainoni Community Centre.Explore and investigate opportunities for wider use and activation of Wainoni Park by local community organisations and groups.Support the Streets for People project in Aranui.Partner with key local organisations who work with tamariki and rangatahi to provide opportunities for pro-social activities and events.Promote and encourage greater use of the Snap, Send, Solve app.	<ul style="list-style-type: none">Increased hours of usage at the Aranui-Wainoni Community Centre with a more diverse range of users booking the facility.Directly sponsor and support collaborative projects that aim to activate and increase usage of Wainoni Park.Increased number of tickets generated and issues resolved through use of the app.	<p>March 2024 - Promote and encourage greater use of the Snap, Send, Solve app. Staff attended the 2023 Affirm event, promoting several council initiatives and projects including the Snap, Send, Solve app. As part of the Aranui Streets for People project, staff are investigating ways to promote the use of snap send solve across the Aranui Community through various methods which could include signage/wayfinding and street/pathway art.</p> <p>March 2024 - Partner with key local organisations who work with tamariki and rangatahi to provide opportunities for pro-social activities and events. Staff have worked with Youth and Cultural Development (YCD) to develop a series of 3v3 Streetball events across the city. Staff ensured that one of these events were held at Wainoni Park. The Hoopz series is aimed at giving rangatahi who have never had a chance to join a team or play competitively a chance to compete in a tournament and test their skills against other players their age. The partners involved have reported back how much raw talent they've seen in the players showing up to each one who have never had any coaching or formal playing experience. Additionally, staff have been working with community organisations who provide programmes aimed at Rangatahi have expressed interest in long term bookings within the Aranui-Wainoni Community Centre. In addition, staff have supported A-Town Boxing Gym in lodging applications with both Rata and through internal Council funding to secure resource to complete the roof repair project of their Gym located on the park. This free up valuable resource within their organisation to focus on growing their programmes, with particular emphasis on providing accessible suited classes.</p> <p>March 2024 - Support the activation and community management of the Aranui-Wainoni Community Centre and Explore and investigate opportunities for wider use and activation of Wainoni Park by local community organisations and groups. Governance Team Staff have been working with various community groups who have expressed interest in booking spaces within the Aranui-Wainoni Community Centre and are actively working with the Facilities team to accommodate their requests where possible.</p> <p>Staff have worked with Youth and Cultural Development (YCD) to develop a series of 3v3 Streetball events across the city. Four of these events were held in the Waitai Community Board area; staff ensured one of these were held at Wainoni Park with the others being held in Linwood and Woolston culminating in the final held in New Brighton. The Hoopz series is aimed at giving rangatahi who have never had a chance to join a team or play competitively a chance to compete in a tournament and test their skills against other players their age. The partners involved have reported back how much raw talent they've seen in the players showing up to each one who have never had any coaching or formal playing experience.</p> <p>March 2024 – Support the Streets for People Project in Aranui The Aranui Streets for people project is currently in its final installation phase after an amended trial proposal was approved by the Community Board in December 2023. Since implementation there has been alterations made to the initial installation because of community feedback. Consultation will remain open throughout the trial phase with design changes able to be made based on the feedback received throughout the trial phase.</p> <p>September 2023 - Promote and encourage greater use of the Snap, Send, Solve app. Community Governance Team Staff have taken the lead on coordinating a number of Council Units to be in attendance at the 2023 AFFIRM event held at the Park to raise awareness of services such as Snap, Send, Solve; the CCC Graffiti Programme and Give Gear Get Great.</p>

		<p>September 2023 - Partner with key local organisations who work with tamariki and rangatahi to provide opportunities for pro-social activities and events. Funding was provided over the next three years to ACTIS to support the ongoing costs associated with running AFFIRM.</p> <p>The Community Board funded Six groups through the Strengthening Communities Funding scheme for projects linking to youth engagement/activation in the Aranui community. One event was funded for the Aranui community – AFFIRM on Wainoni Park December 2022 and one event supported ‘Unstoppable’ collaboration lead by He Waka Tapu held in Wainoni Park in March 2023.</p> <p>September 2023 - Support the activation and community management of the Aranui-Wainoni Community Centre and Explore and investigate opportunities for wider use and activation of Wainoni Park by local community organisations and groups. Staff are currently scoping potential projects/resource that can be utilised to support the activation and community management of the Aranui-Wainoni Community Centre as well as supporting the activation of the Wainoni Park area.</p>
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Priority: Woolston Village Safety Initiatives		
What the Board will do	Measures of Success	Progress to date/actions taken
<ul style="list-style-type: none">Support initiatives to activate public spaces with a view to discouraging the anti-social behaviour and street begging.Build relationships with other Government agencies who can offer support services for at-risk tangata in emergency and social housing.Meet regularly with key agencies to discuss appropriate and timely response to safety issues.Build relationships with local residents and business.Support local residents and businesses to collaborate for the common good of Woolston Village and the wider suburb.	<ul style="list-style-type: none">Regular collaboration meetings of community and businesses are established with support from the board.Community board have granted funding towards activation projects for the Woolston Village shops and Library.New ideas for local events and activations are funded.The temporary alcohol ban is evaluated and altered accordingly.There is an improvement in the perception of safety within Woolston Village.	<p>March 2024 <u>Woolston Well-Being Network</u> Working with Woolston Development Project, Governance Staff have initiated a Woolston Well-Being Network. The aim of the network is to bring together stakeholders from the Woolston suburb to continue the kōrero around Woolston safety initiatives. An inaugural hui was held on 21 February 2024, hosted by Woolston Development Project. The network is intended to be an informal monthly hui, where interested parties can attend and offer their whakaaro and ideas on what they'd like to see for their community. The network will meet on the second Thursday of every month starting from 11 April.</p> <p><u>Woolston Community Centre</u> Now established in the Centre, Youth Town are providing the following activations:</p> <ul style="list-style-type: none">Youth Hub every Friday from 4-6pmStudy time drop-in every Monday from 3:30 – 5pm with Youth Town staff available to help with homework, job applications, learner license study and moreHer Move – free girls only every Tuesday from 3:30 – 4:40pm session based out of the Community Centre <p>Since Youth Town have moved in the library volunteers have reported fewer occurrences of anti-social and disorderly behaviour and are generally feeling safer when working in the facility. The homeless couple who were residing under the eaves at the back of the building have moved on since the cement blocks were put in place by the facilities team and have not return since. The blocks were removed when Youth Town officially took over the lease and moved in. Since the couple have moved on the rubbish left strewn around the back of the building has also decreased significantly.</p> <p>A new mural has been created on the wall adjacent to the Community Centre's pergola to commemorate a local tane who died recently. The previously black painted wall now features a graffiti art style portrait of the resident and design work, bringing more colour to the space and generating a sense of belonging and connection to place and people.</p> <p><u>Woolston Events – activating spaces</u></p> <ul style="list-style-type: none">Governance Staff supported Youth Town to deliver the Woolston Village Twilight Gala on the 28 November to lunch the organisation in their new home. The event activated the space behind the Woolston Community Centre and most of the car park area.Woolston Community Library held their Annual Gala on 24 November which utilised the space down the side and in front of the library with stalls, a plant sale and activities for whānau.Community Governance staff worked with Youth and Cultural Development and Te Waka Unua to plan and deliver a Streetball 3v3 Competition for rangatahi as part of YCD's House of Hoopz series. This is the first time a youth basketball competition has been delivered in Woolston and the partners hope to make it an annual event. <p>September 2023 - Support initiatives to activate public spaces with a view to discouraging the anti-social behaviour and street begging. Staff from Community Governance and Facilities Teams have worked through an RFP process and secured Youth Town as a long-term tenant for Woolston Community Library. Youth Town now have a part time Coordinator based in the small meeting room at the facility who is working on a launch and planning the programs that are going to be run from there as a base. It is anticipated that having a more activated facility, particularly around late afternoons and early evenings will discourage the anti-social behaviour, littering and street begging in the immediate vicinity of the hub.</p>

		<p>September 2023 - Support local residents and businesses to collaborate for the common good of Woolston Village and the wider suburb.</p> <p>Staff are liaising with Woolston Development Project on the feasibility of creating and securing funding for an 'Activator' role whose remit would be to work with Christchurch City Council staff to re-instate the Woolston Gala with the aim of building connections between the local businesses, community groups, residents and agencies in the area.</p> <p>Governance Staff have also initiated discussion with Te Waka Unua School and local Woolston groups about ideas for a community event in the area for 2023/24.</p> <p>September 2023 - The temporary alcohol ban is evaluated and altered accordingly.</p> <p>At its meeting on 6 September 2023, the Council resolved to make the temporary alcohol ban in Woolston Village Permanent.</p>
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Ticket Report

01 02 2024 - 29 02 2024

Filter by Ward

Coastal-Burwood-Linwood

Filter by month

2024 (Year) + February (Month)

Tickets Reported in February 2024

3554

Reported Tickets last month

Status as of Report Date

Pending - Programmed ...

86

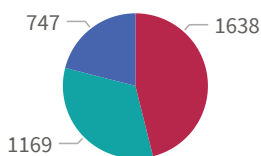
Open

854

Closed/Resolved

2614

Channels



Phone/Email/Walk-in
Snap, Send, Solve
Website

Currently Open Tickets

854

Open Tickets*

17

avg open ticket age (days)

384

Escalated tickets*

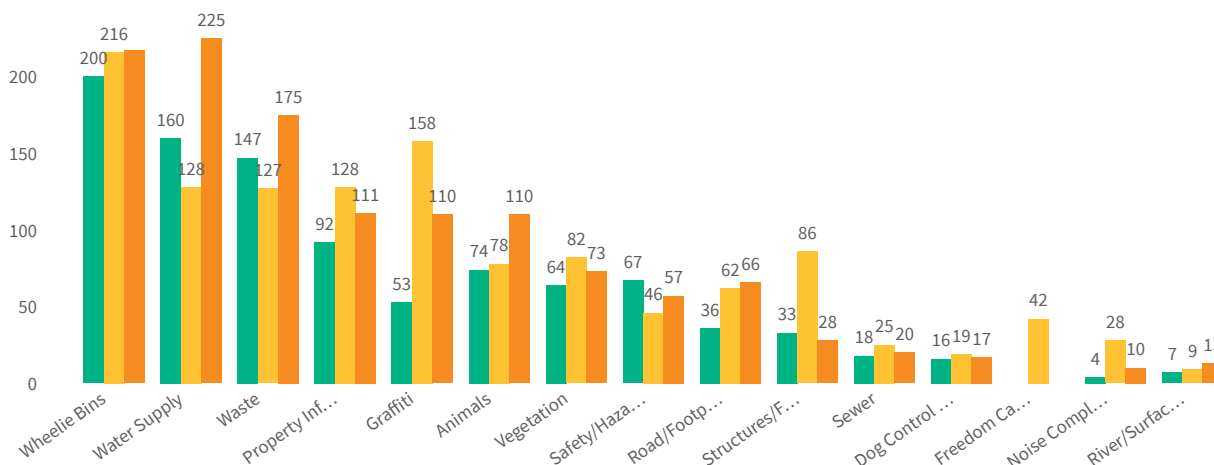
5123

Total Currently Open Tickets

*Open as of report date, reported during filtered period

Top 15 Incident Categories

Burwood Coastal Linwood



Top 10 Object Categories

# Tickets	ObjectCategory
385	Litter
326	Water Leak
321	Graffiti
252	Damaged Bin
249	Bin Not Collected
135	Residential LIM
125	Trees
112	Residential Property Files
80	Water Supply
64	Garden/Landscaped Area

Report date:
18 Mar 2024

Christchurch
City Council

Memos



Memo

Date: 05/03/2024
From: Andrew Cameron – Transport PM
To: Waitai Coastal-Burwood-Linwood Community Board
Cc: Cindy Sheppard – Board Advisor
Reference: 24/360494

Linwood Avenue School Slip Lane Next Steps

1. Purpose of this Memo Te take o tēnei Pānui

- 1.1 This memo is to inform the Waitai Coastal-Burwood-Linwood Community Board of the intended next steps for the Linwood Avenue School Slip Lane project, after advice provided to staff on the CRAF program at the Community Board meeting 29 February.
- 1.2 The information in this memo is not confidential and can be made public.

2. Update Te take o tēnei Pānui

- 2.1 The Linwood Avenue School slip lane was approved by the Waitai Coastal-Burwood-Linwood Community Board at the meeting of 11 September 2023 under the CRAF programme of work.
- 2.2 CERF Transport Choices funding was withdrawn in December 2023 which required the CRAF programme to be revisited. All projects; with current cost estimates; that were in CRAF, and that had been in CRAF and transferred to CERF, were presented to the Community Board at the meeting of 29 February 2024.

3. Conclusion Whakakapinga

- 3.1 At the meeting of 29 February the Community Board advised that the Linwood Avenue Slip Lane would remain in the CRAF programme. This was based upon the following.
 - 3.1.1 This project has always been a CRAF project.
 - 3.1.2 The project had been approved by the Board under CRAF.
 - 3.1.3 The school expectations have been set that this project would start construction at the start of the April school holidays.
 - 3.1.4 The contractor has programmed the work to take place in April and is awaiting tender acceptance, and delay is likely to incur additional cost.
- 3.2 Based upon this advice provided by the Community Board, staff intend to award the contract and proceed with construction starting 15 April.

Attachments Ngā Tāpirihanga

There are no attachments to this memo.

Memos



Signatories Ngā Kaiwaitohu

Author	Andrew Cameron - Project Manager
Approved By	Jacob Bradbury - Manager Planning & Delivery Transport Lynette Ellis - Head of Transport & Waste Management

19. Elected Members’ Information Exchange Te Whakawhiti Whakaaro
o Te Kāhui Amorangi

This item provides an opportunity for Board Members to update each other on recent events and/or issues of relevance and interest to the Board.

Karakia Whakamutunga

Kia tau te rangimārie O te Rangi e tū iho nei O Papatūānuku e takoto nei O te Taiao e awhi nei Ki runga i a Tātou Tihei Mauriora	May the peace of the sky above Of the earth below And the all-embracing universe Rest upon us all Behold, it is life!
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